

# THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

## Regular Meeting of Council

**Monday August 21, 2017 at 7:00 p.m. – Council Chambers  
102 Derby Street West, Alexandria, Ontario K0C 1A0**

### Draft Agenda

#### THE MEETING WILL OPEN WITH THE CANADIAN NATIONAL ANTHEM

1. ACCEPT THE AGENDA (Additions/Deletions) ® (Carma)
2. DECLARATIONS OF CONFLICTS OF INTEREST
3. ADOPTION OF PREVIOUS MINUTES ® (Jamie)
  - a) Regular Meeting of Council – August 8, 2017
  - b) Special Meeting of Council – August 15, 2017
4. DELEGATION(S)
  - a) Mr. Allan MacDonald re. 200<sup>th</sup> Anniversary of the foundation of Alexandria
  - b) Kennel By-law – Ouellette Road residents
5. COMMITTEE RECOMMENDATIONS
6. CAO/CLERK'S DEPARTMENT - Daniel Gagnon, CAO/Clerk
7. COMMUNITY SERVICES DEPARTMENT –  
Anne Leduc, Director of Recreation/Community Services
8. TREASURY DEPARTMENT - Johanna Levac, Treasurer
9. PLANNING/BUILDING & BY-LAW ENFORCEMENT DEPARTMENT -  
Gerry Murphy, CBO/Senior By-law Enforcement Officer/Planning Manager
  - a) Zoning Amendment – Z-05-2017 ® (Jacques)
  - b) Zoning Amendment – Z-06-2017 ® (Brian)
  - c) Zoning Amendment – Z-07-2017 ® (Jeff)
  - d) By-law 36-2017 Site Plan Agreement for Choice Properties Limited ® (Michel)
10. FIRE DEPARTMENT – Patrick Gauthier, North Glengarry Fire Chief
11. PUBLIC WORKS DEPARTMENT – Ryan Morton, Director of Public Works
  - c) Agreement between the Township and Xplornet for a tower access (Report to be circulated Monday) ® (Carma)
  - d) Frasier Road Bridge – Superstructure Purchase authorization. (Report to be circulated Monday) ® (Jamie)
12. CORRESPONDENCE
  - a) Public Works Advisory Committee Minutes – June 19, 2017
13. NEW BUSINESS
14. NOTICE OF MOTION  
Next Regular Public Meeting of Council  
Monday September 11, 2017 at 7:00 p.m. at the Centre Sandfield Centre, 102 Derby Street West, Alexandria, Ontario.  
Note: Meeting are subject to change or cancellation.

15. **QUESTION PERIOD** (limit of one question per person and subsequent question will be at the discretion of the Mayor/Chair).

16. **CLOSED SESSION BUSINESS**

**Taxation Discrepancies Corrections** (as this matter deal with advice that is subject to solicitor-client privilege, including communications necessary for that purpose they may be discussed in closed session under sections 239 (2)(f) of the *Ontario Municipal Act*);

**Glengarry Sports Palace Dispute Resolution options** (as this matter deal with advice that is subject to solicitor-client privilege, including communications necessary for that purpose they may be discussed in closed session under sections 239 (2)(f) of the *Ontario Municipal Act*);

And adopt the minutes of the Municipal Council “In Camera” session meeting of August 8, 2017 and August 15, 2017.

17. **CONFIRMING BY-LAW**

a) By-law 37-2017 ® (Brian)

18. **ADJOURN** ® (Jacques)

# **Section 1**

**ACCEPT THE AGENDA**

**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

That the Council of the Township of North Glengarry accepts the agenda of the Regular Meeting of Council on Monday August 21, 2017.

**Carried**

**Defeated**

**Deferred**

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**MAYOR / DEPUTY MAYOR**

**YEA**

**NEA**

**Deputy Mayor:** Jamie MacDonald

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**Councillor:** Jacques Massie

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**Councillor:** Brian Caddell

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**Councillor:** Jeff Manley

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**Councillor:** Michel Depratto

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**Councillor:** Carma Williams

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**Mayor:** Chris McDonell

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**Section 1**



## **Section 2**

# **DECLARATIONS OF CONFLICTS OF INTEREST**

## **Section 3**

**ADOPTION OF PREVIOUS**

**MINUTES**

**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

That the minutes of the following meetings be adopted as circulated.

Regular Meeting of Council – August 8, 2017  
Special Meeting of Council – August 15, 2017

<b>Carried</b>	<b>Defeated</b>	<b>Deferred</b>
_____	_____	_____

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**MAYOR / DEPUTY MAYOR**

	<b>YEA</b>	<b>NEA</b>
<b>Deputy Mayor:</b> Jamie MacDonald	_____	_____
<b>Councillor:</b> Jacques Massie	_____	_____
<b>Councillor:</b> Brian Caddell	_____	_____
<b>Councillor:</b> Jeff Manley	_____	_____
<b>Councillor:</b> Michel Depratto	_____	_____
<b>Councillor:</b> Carma Williams	_____	_____
<b>Mayor:</b> Chris McDonell	_____	_____

**Section 3**



**THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY**

**REGULAR MEETING OF COUNCIL**

**Tuesday August 8, 2017 at 7:00 p.m. – Council Chambers  
102 Derby Street West, Alexandria, On K0C 1A0**

A Regular meeting of the Municipal Council was held on August 8, 2017 at 7:00 p.m., with Mayor Chris McDonnell presiding.

**PRESENT:** **Deputy Mayor** - Jamie MacDonald  
**Councillor (Lochiel Ward)** – Brian Caddell  
**Councillor (Kenyon Ward)** – Jeff Manley  
**Councillor (Alexandria Ward)** – Michel Depratto  
**Councillor (Maxville Ward)** – Carma Williams

**ALSO PRESENT:** **CAO** – Daniel Gagnon  
**Treasurer** – Annie Levac  
**Director of Community Services** – Anne Leduc  
**Economic Development & Communication Officer** – Tara Kirkpatrick

**REGRETS:** **Councillor at Large** – Jacques Massie  
**Councillor (Maxville Ward)** – Carma Williams

**1. DECLARATIONS OF CONFLICTS OF INTEREST**

**2. ACCEPT THE AGENDA**

**Resolution No. 1**

**Moved by:** Brian Caddell **Seconded by:** Jeff Manley

That the Council of the Township of North Glengarry accepts the agenda of the Regular Meeting of Council on Tuesday August 8, 2017 as amended.

**Carried**

**Additions to the agenda**

- 13 New Business – By-law 35-2017 Amending By-law 44-2008**
- 13 New Business – Update on the weeds in the Mill Pond**
- 16 Closed Session 239 (2)(a) – Title to Municipal land in Mill Square**
- Closed Session 239 (2)(d) – Succession planning in various municipal departments**
- Closed Session 239 (2) (f) – Kennel by-law enforcement**

**3. ADOPTION OF PREVIOUS MINUTES**

**Resolution No. 2**

**Moved by:** Jamie MacDonald **Seconded by:** Michel Depratto

That the minutes of the following meeting be adopted as circulated.

Special Meeting of Council – July 17, 2017

**Carried**



**4. DELEGATION(S)**

- a) Presentation of the Financial Statement for 2016 – Jamie Pollock of Craig Keen Despatie Markell LLP**

**Resolution No. 3**

**Moved by:** Jeff Manley

**Seconded by:** Brian Caddell

That Mr. Jamie Pollock from Craig Keen Despatie Markell LLP. Chartered Accountants presented to Council the 2016 Financial Statements. Council adopted the 2016 Financial Statements.

**Carried**

**5. COMMITTEE RECOMMENDATIONS**

**6. CAO/CLERK'S DEPARTMENT - Daniel Gagnon, CAO/Clerk**

- a) By-law 29-2017 – Fees and Charges**

**Resolution No. 4**

**Moved by:** Brian Caddell

**Seconded by:** Jeff Manley

That the Council of the Township of North Glengarry receive the amended fees and charges by-law; and

That By-law No. 29-2017 being a by-law to amend the Fees and Charges By-law 07-2016 and that By-law 29-2017 be read a first, second and third time and enacted in Open Council this 8<sup>th</sup> day of August, 2017; and

That By-law 07-2016 is rescinded.

**Carried**

**Action – LL**

**7. COMMUNITY SERVICES DEPARTMENT - Anne Leduc, Director Community Services**

- a) By-law 33-2017 – Amend Designated CIP Project Areas**

**Resolution No. 5**

**Moved by:** Michel Depratto

**Seconded by:** Jamie MacDonald

That the Council of the Township of North Glengarry receives the Staff Report re. Community Improvement Plan – Designation of the Community Improvement Project Areas; and

That By-law No. 33-2017 be read a first, second and third time and enacted in Open Council this 8<sup>th</sup> day of August, 2017; and

That By-law 65-2015 is rescinded.

**Carried**

**Action – AL/TK**

**b) Community Improvement Plan Application Request – 1 Mechanic St W.,  
Maxville**

**Resolution No. 6**

**Moved by: Jeff Manley**

**Seconded by: Brian Caddell**

That Council approves a Financial Incentive Program A (Planning & Design Grant) representing 50% of the cost, up to a maximum of \$300, paid in two equal installments; Program B (Building and Infill Grant) representing a matching grant of 50% up to a maximum of \$7,500 to conduct work on the South and East facades; Program E (Building Permit Fee Infill Grant) equal to 100% of the eligible building permit fees of a maximum of \$750, with the possibility of a Planning Fee Grant of \$500 pending Council approval of a future CIP amendment; Program F (Tax Increment Grant Program), and Program G (CIP Municipal Loan Program) up to a maximum of \$10,000, as submitted by Tanya Rozon for the property situated at 1 Mechanic St W, Maxville.

This client is also eligible for the civic address pilot program and will be provided with a free civic address plaque provided by the municipality and designed as per conditions set by CIPAC.

**Carried**

**Action – TK**

**c) Key Information Report – Economic Development Funding Opportunities**

The Director of Community Services briefed council on the Economic Development Funding Opportunities

**8. TREASURY DEPARTMENT – Johanna Levac, Treasurer**

**a) Investment Policy – Quarterly Report – April to June 2017**

**Resolution No. 7**

**Moved by: Brian Caddell**

**Seconded by: Jeff Manley**

That the “Investment Policy – Quarterly Report – April to June 2017” be accepted by Council for information purposes only.

**Carried**

**9. PLANNING/BUILDING & BY-LAW ENFORCEMENT DEPARTMENT -**

Gerry Murphy Chief Building Official/Senior By-law Enforcement Officer/Planning Manager

**10. FIRE DEPARTMENT – Patrick Gauthier, North Glengarry Fire Chief**

**11. PUBLIC WORKS DEPARTMENT – Ryan Morton, Director of Public Works**

**12. CORRESPONDENCE**

- a) Recreation Advisory Committee Minutes – June 13, 2017
- b) Glengarry Sports Palace Board Minutes – June 13, 2017
- c) CIP Approvals Committee Minutes – July 4, 2017



### 13. NEW BUSINESS

#### a) By-law 35-2017 Amending By-law 44-2008

##### Resolution No. 8

Moved by: Jamie MacDonald

Seconded by: Michel Depratto

That the Council of the Township of North Glengarry receive the amended by-law for the licensing, regulating and keeping of dogs; and

That By-law No. 35-2017 being a by-law to amend the licensing regulating and keeping of dogs by-law 44-2008 and that By-law 35-2017 be read a first, second and third time and enacted in Open Council this 8<sup>th</sup> day of August, 2017.

**Carried**

##### Action – TMcD

#### b) Update on the weeds in the Mill Pond

Members discussed the timing and process of weed mitigation / harvesting in the Mill Pond.

### 14. NOTICE OF MOTION - Next Meeting of Council, August 21, 2017.

### 15. QUESTION PERIOD

### 16. CLOSED SESSION BUSINESS

##### Resolution No. 9

Moved by: Jeff Manley

Seconded by: Brian Caddell

##### Proceed "In Camera" Session,

That the Council of the Township of North Glengarry proceeds in Camera under Section 239 (2) of the *Ontario Municipal Act* at 8:19 p.m., in order to address,

Title to Municipal land in Mill Square (as this matter deal with the security of the property of the municipality or local board they may be discussed in closed session under sections 239 (2)(a) of the *Ontario Municipal Act*);

Succession planning in various municipal departments (as this matter deal with labour relations or employee negotiations they may be discussed in closed session under sections 239 (2)(d) of the *Ontario Municipal Act*);

Taxation Discrepancies Corrections (as this matter deal with advice that is subject to solicitor-client privilege, including communications necessary for that purpose they may be discussed in closed session under sections 239 (2)(f) of the *Ontario Municipal Act*);

Kennel By-law Enforcement (as this matter deal with advice that is subject to solicitor-client privilege, including communications necessary for that purpose they may be discussed in closed session under sections 239 (2)(f) of the *Ontario Municipal Act*);

And adopt the minutes of the Municipal Council "In Camera" session meeting of July 17, 2017.

**Carried**

**Resolution No. 10**

**Moved by:** Carma Williams

**Seconded by:** Jamie MacDonald

That we return to the Regular Meeting of Council at 9:01 p.m.

**Carried**

**17. CONFIRMING BY-LAW**

**Resolution No. 11**

**Moved by:** Jamie MacDonald

**Seconded by:** Michel Depratto

That the Council of the Township of North Glengarry receive By-law 34-2017; and

That Council adopt by-law 34-2017 being a by-law to adopt, confirm and ratify matters dealt with by Resolution and that By-law 34-2017 be read a first, second, third time and enacted in Open Council this 8<sup>th</sup> day of August, 2017.

**Carried**

**18. ADJOURNMENT**

**Resolution No. 12**

**Moved by:** Jeff Manley

**Seconded by:** Brian Caddell

There being no further business to discuss, the meeting was adjourned at 9:03 p.m.

**Carried**

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**Daniel Gagnon – CAO/Clerk**

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**Mayor / Deputy Mayor**



3(b)

# THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

## SPECIAL MEETING OF COUNCIL

**Tuesday August 15, 2017 at 4:00 p.m. – Council Chamber  
102 Derby Street West, Alexandria, On K0C 1A0**

A Special meeting of the Municipal Council was held on August 15, 2017 at 4:00 p.m., with Mayor Chris McDonnell presiding.

**PRESENT:** **Deputy Mayor** - Jamie MacDonald  
**Councillor at Large** – Jacques Massie  
**Councillor (Lochiel Ward)** – Brian Caddell  
**Councillor (Kenyon Ward)** – Jeff Manley  
**Councillor (Alexandria Ward)** – Michel Depratto  
**Councillor (Maxville Ward)** – Carma Williams

**ALSO PRESENT:** **CAO/Clerk** – Daniel Gagnon  
**Director of Public Works** – Ryan Morton  
**Treasurer** – Annie Levac  
**Watson & Associates - Consultant** – Andrew Grunda  
**Watson & Associates - Consultant** – Marco Vincelli

1. **DECLARATIONS OF CONFLICTS OF INTEREST**
2. **ACCEPT THE AGENDA**

### **Resolution No. 1**

**Moved by:** Carma Williams

**Seconded by:** Jeff Manley

That the Council of the Township of North Glengarry accepts the agenda of the Special Meeting of Council on Tuesday August 15, 2017.

**Carried**

3. **ADOPTION OF PREVIOUS MINUTES**
4. **DELEGATION(S)**
5. **COMMITTEE RECOMMENDATIONS**
6. **CAO/CLERK'S DEPARTMENT** - Daniel Gagnon, CAO/Clerk
7. **COMMUNITY SERVICES DEPARTMENT** - Anne Leduc, Director Community Services
8. **TREASURY DEPARTMENT** – Johanna Levac, Treasurer
9. **PLANNING/BUILDING & BY-LAW ENFORCEMENT DEPARTMENT** - Gerry Murphy Chief Building Official/Senior By-law Enforcement Officer/Planning Manager
10. **FIRE DEPARTMENT** – Patrick Gauthier, North Glengarry Fire Chief
11. **PUBLIC WORKS DEPARTMENT** – Ryan Morton, Director of Public Works

12. CORRESPONDENCE

13. NEW BUSINESS

14. NOTICE OF MOTION - Next Meeting of Council, August 21, 2017.

15. QUESTION PERIOD

16. CLOSED SESSION BUSINESS

**Resolution No. 2**

**Moved by:** Carma Williams

**Seconded by:** Jeff Manley

**Proceed "In Camera" Session,**

That the Council of the Township of North Glengarry proceeds in Camera under Section 239 (2) of the *Ontario Municipal Act* at 4:01 p.m., in order to address,

Review of financial planning of the water and waste water dept. (Ontario Municipal Act Section 239 (3.1) Educational or training sessions – A meeting of a council or local board or of a committee of either of them may be closed to the public if the following conditions are both satisfied;

1. The meeting is held for the purpose of educating or training the members.
2. At the meeting, no member discusses or otherwise deals with any matter in a way that materially advances the business or decision-making of the council, local board or committee.

**Carried**

**Resolution No. 3**

**Moved by:** Jeff Manley

**Seconded by:** Carma Williams

That we return to the Special Meeting of Council at 6:13 p.m.

**Carried**

17. CONFIRMING BY-LAW

18. ADJOURNMENT

**Resolution No. 4**

**Moved by:** Jeff Manley

**Seconded by:** Carma Williams

There being no further business to discuss, the meeting was adjourned at 6:14 p.m.

**Carried**

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**Daniel Gagnon – CAO/Clerk**

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**Mayor / Deputy Mayor**



## **Section 4**

# **DELEGATION**

# **Section 5**

## **COMMITTEE**

### **RECOMMENDATIONS**



# **Section 6**

**CAO/CLERK'S**

**DEPARTMENT**

**Daniel Gagnon**

**Section 7**

**COMMUNITY SERVICES**

**DEPARTMENT**

**Anne Leduc**



# **Section 8**

## **TREASURY DEPARTMENT**

**Johanna Levac**



## **Section 9**

# **PLANNING/BUILDING BY-LAW ENFORCEMENT DEPARTMENT**

**Gerry Murphy**



**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

That the Council of the Township of North Glengarry approve by-law Z-05-2017 and that the By-law be read a first, second and third time in Open Council this 21<sup>st</sup> day of August, 2017.

**Carried**

**Defeated**

**Deferred**

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**MAYOR / DEPUTY MAYOR**

**Deputy Mayor:** Jamie MacDonald

**Councillor:** Jacques Massie

**Councillor:** Brian Caddell

**Councillor:** Jeff Manley

**Councillor:** Michel Depratto

**Councillor:** Carma Williams

**Mayor:** Chris McDonell

**YEA**

**NEA**

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**Section 9 Item a**

9(a)

**THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY**

**BY-LAW NO. Z-05-2017**

**BEING A BY-LAW TO AMEND ZONING BY-LAW NO. 39-2000**

**WHEREAS** By-Law No. 39-2000 regulates the use of land and erection of buildings and structures within the Township of North Glengarry, County of SD & G;

**AND WHEREAS** the Council of the Corporation of the Township of North Glengarry deems it advisable to amend By-Law 39-2000 as hereinafter set forth;

**NOW THEREFORE** the Council of the Corporation of the Township of North Glengarry enacts as follows:

1. Notwithstanding the provisions of Section 11.2 to the contrary, on the lands described as being Concession 1 Part of Lot 7 RP14R1112 PT; PART 3 (3838 Kenyon Dam Road) Alexandria, Township of North Glengarry zoned Rural Special Exception 11 (RU-11) on Schedule "A" attached hereto, the following provisions shall apply:
  - i) RU-11 Special Exception: To permit the use of a restaurant on the property.
2. That Schedule "A" of By-Law 39-2000 is hereby amended by changing to RU the zone Symbol of the lands indicated "Zone changed to RU-11" on the Schedule "A" hereto.
3. That Schedule "A" attached hereto is hereby made fully part of the By-Law.

This By-Law shall come into effect on the date of passing hereof subject to the provisions of the Planning Act.

**READ** a first, second, third time and enacted in Open Council, this 21<sup>st</sup> day of August, 2017.

\_\_\_\_\_  
CAO/Clerk/Deputy Clerk

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Mayor/Deputy Mayor

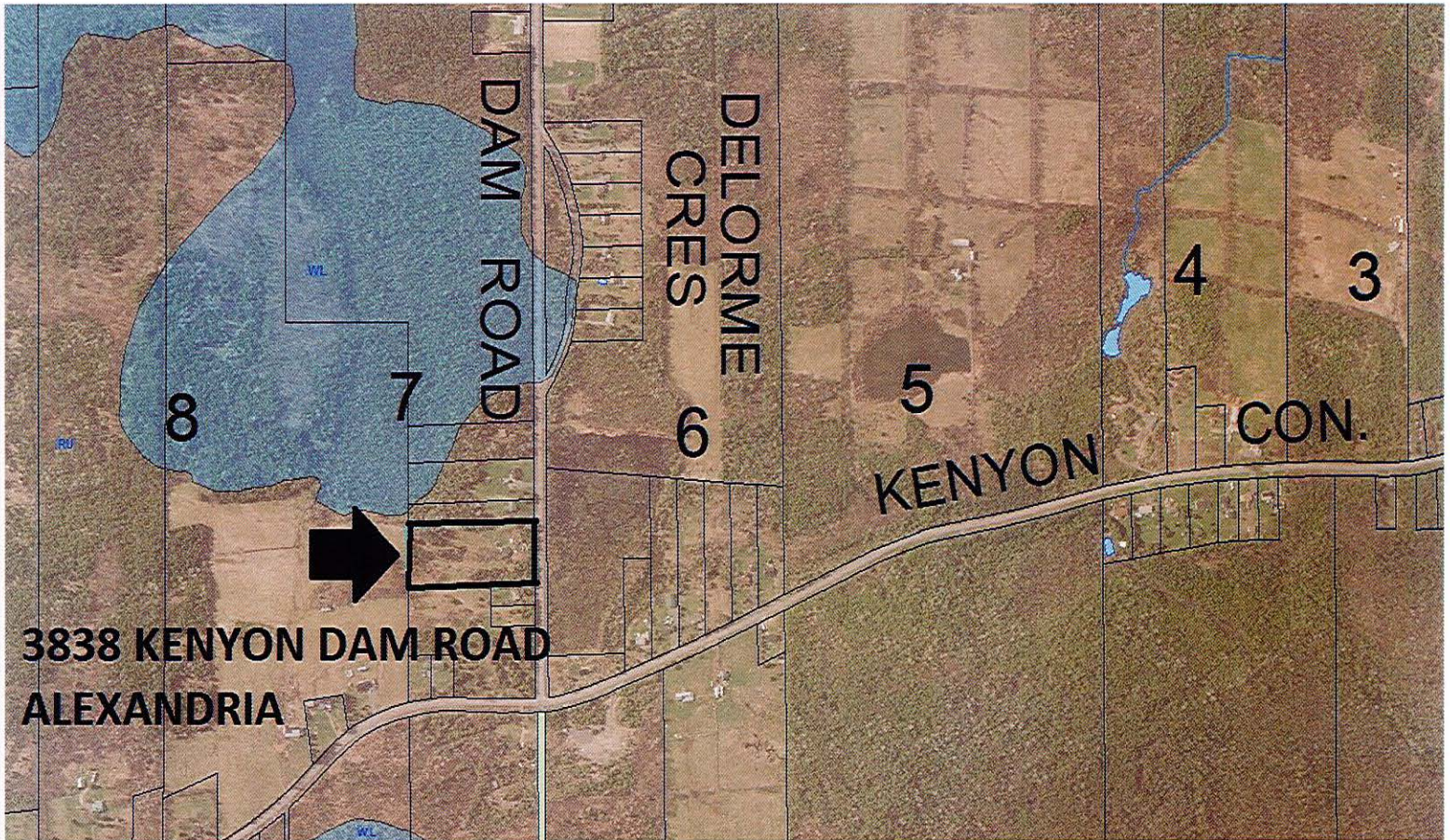
I, hereby certify that the forgoing is a true copy of By-Law No. Z-05-2017, duly adopted by the Council of the Township of North Glengarry, on the 21<sup>st</sup> day of August, 2017.

\_\_\_\_\_  
Date Certified

\_\_\_\_\_  
Clerk / Deputy Clerk

SCHEDULE "A"  
TO BY-LAW NUMBER Z-05-2017

Legend  
Subject Property  
Zone Change to RU-11



Concession 1 Part of Lot 7 RP14R1112 PT;PART 3  
Township of North Glengarry  
United Counties of Stormont, Dundas & Glengarry

This is Schedule "A" to By-Law Z-05-2017  
Passed this 21<sup>st</sup> day of August, 2017

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Mayor/Deputy Mayor

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CAO/Clerk/Deputy Clerk



**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

That the Council of the Township of North Glengarry approve by-law Z-06-2017 and that the By-law be read a first, second and third time in Open Council this 21<sup>st</sup> day of August, 2017.

**Carried**

**Defeated**

**Deferred**

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**MAYOR / DEPUTY MAYOR**

**Deputy Mayor:** Jamie MacDonald

**Councillor:** Jacques Massie

**Councillor:** Brian Caddell

**Councillor:** Jeff Manley

**Councillor:** Michel Depratto

**Councillor:** Carma Williams

**Mayor:** Chris McDonell

**YEA**

**NEA**

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**Section 9 Item b**

**THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY**

**BY-LAW NO. Z-06-2017**

**BEING A BY-LAW TO AMEND ZONING BY-LAW NO. 39-2000**

**WHEREAS** By-Law No. 39-2000 regulates the use of land and erection of buildings and structures within the Township of North Glengarry, County of SD & G;

**AND WHEREAS** the Council of the Corporation of the Township of North Glengarry deems it advisable to amend By-Law 39-2000 as hereinafter set forth;

**NOW THEREFORE** the Council of the Corporation of the Township of North Glengarry enacts as follows:

1. Notwithstanding the provisions of Section 11.2 to the contrary, on the lands described as being Concession 2 North Part of Lot 9 (21860 McCormick Road) Glen Robertson, Township of North Glengarry zoned General Agricultural Special Exception 154 (AG-154) and General Agricultural Special Exception 155 (AG-155) on Schedule "A" attached hereto, the following provisions shall apply:
  - i) AG-154 Special Exception: No residential development shall be permitted on the severed portion.
  - ii) AG-155 Special Exception: No agricultural uses shall be permitted on the retained portion.
2. That Schedule "B" of By-Law 39-2000 is hereby amended by changing to AG the zone Symbol of the lands indicated "Zone changed to AG-154 and AG-155" on the Schedule "A" hereto.
3. That Schedule "A" attached hereto is hereby made fully part of the By-Law.

This By-Law shall come into effect on the date of passing hereof subject to the provisions of the Planning Act.

**READ** a first, second, third time and enacted in Open Council, this 21<sup>st</sup> day of August, 2017.

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CAO/Clerk/Deputy Clerk

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Mayor/Deputy Mayor

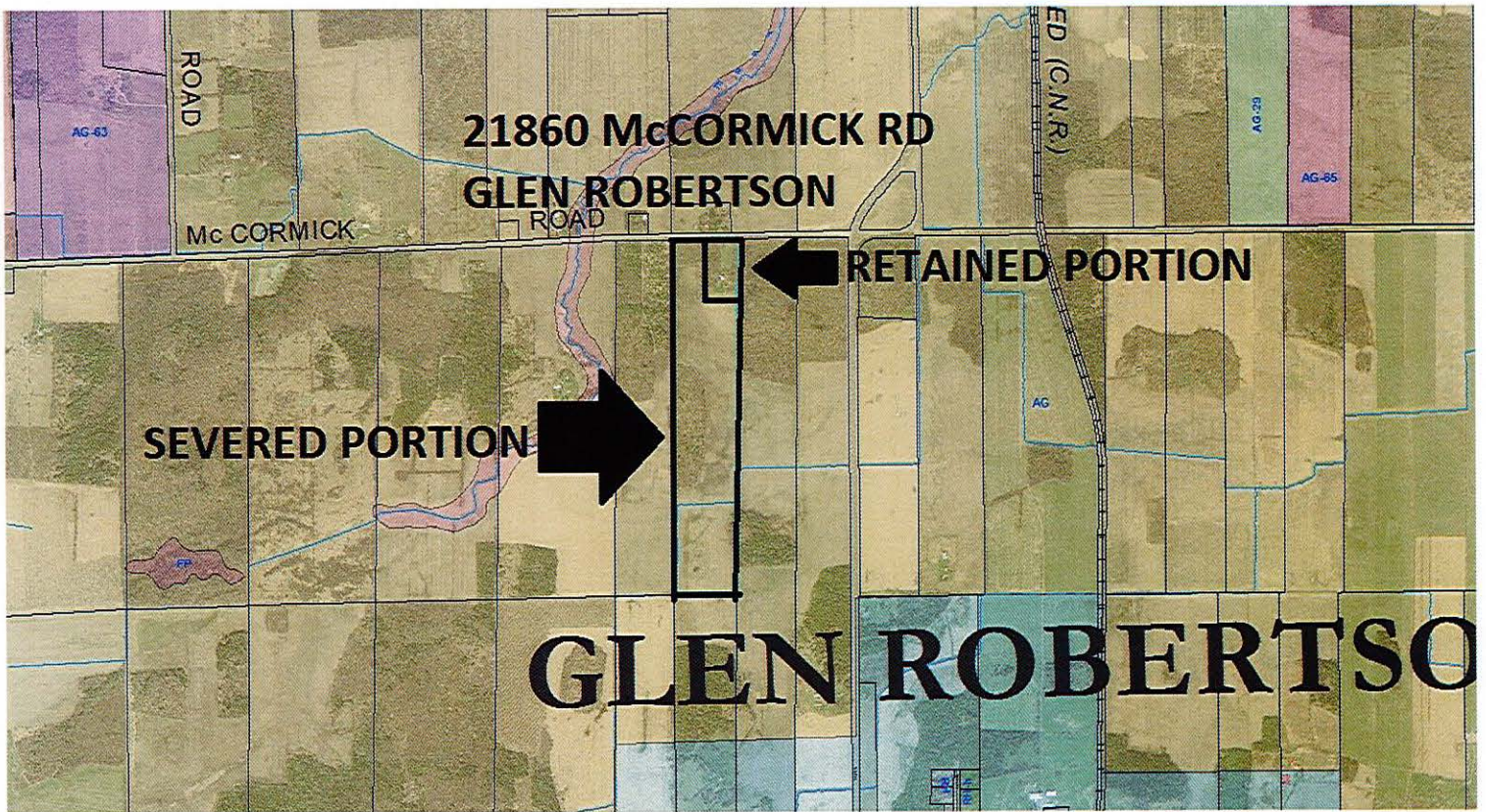
I, hereby certify that the forgoing is a true copy of By-Law No. Z-06-2017, duly adopted by the Council of the Township of North Glengarry, on the 21<sup>st</sup> day of August, 2017.

\_\_\_\_\_  
Date Certified

\_\_\_\_\_  
Clerk / Deputy Clerk

**SCHEDULE "A"  
TO BY-LAW NUMBER Z-06-2017**

**Legend  
Subject Property  
Zone Change to AG-154 and AG-155**



**Concession 2 North Part of Lot 9  
Township of North Glengarry  
United Counties of Stormont, Dundas & Glengarry**

**This is Schedule "A" to By-Law Z-06-2017  
Passed this 21<sup>st</sup> day of August, 2017**

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**Mayor/Deputy Mayor**

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**CAO/Clerk/Deputy Clerk**



**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

That the Council of the Township of North Glengarry approve by-law Z-07-2017 and that the By-law be read a first, second and third time in Open Council this 21<sup>st</sup> day of August, 2017.

**Carried**

**Defeated**

**Deferred**

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**MAYOR / DEPUTY MAYOR**

**Deputy Mayor:** Jamie MacDonald

**Councillor:** Jacques Massie

**Councillor:** Brian Caddell

**Councillor:** Jeff Manley

**Councillor:** Michel Depratto

**Councillor:** Carma Williams

**Mayor:** Chris McDonell

**YEA**

**NEA**

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**Section 9 Item c**

9(c)

**THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY**

**BY-LAW NO. Z-07-2017**

**BEING A BY-LAW TO AMEND ZONING BY-LAW NO. 39-2000**

**WHEREAS** By-Law No. 39-2000 regulates the use of land and erection of buildings and structures within the Township of North Glengarry, County of SD & G;

**AND WHEREAS** the Council of the Corporation of the Township of North Glengarry deems it advisable to amend By-Law 39-2000 as hereinafter set forth;

**NOW THEREFORE** the Council of the Corporation of the Township of North Glengarry enacts as follows:

1. Notwithstanding the provisions of Section 11.2 to the contrary, on the lands described as being Plan 32 BLK I Lots 1, 2 Pt; Lot 3 Concession 17 IL Pt Lot 12 (72 Mechanic St. W) Maxville, Township of North Glengarry zoned Village Core Area on Schedule "A" attached hereto, the following provisions shall apply:
  - i) Village Core Area: To permit a multi-use building on the property, including residential and commercial uses.
2. That Schedule "D" of By-Law 39-2000 is hereby amended by changing to CA the zone Symbol of the lands indicated "Zone changed to CA" on the Schedule "A" hereto.
3. That Schedule "A" attached hereto is hereby made fully part of the By-Law.

This By-Law shall come into effect on the date of passing hereof subject to the provisions of the Planning Act.

**READ** a first, second, third time and enacted in Open Council, this 21<sup>st</sup> day of August, 2017.

\_\_\_\_\_  
CAO/Clerk/Deputy Clerk

\_\_\_\_\_  
Mayor/Deputy Mayor

I, hereby certify that the forgoing is a true copy of By-Law No. Z-07-2017, duly adopted by the Council of the Township of North Glengarry, on the 21<sup>st</sup> day of August, 2017.

\_\_\_\_\_  
Date Certified

\_\_\_\_\_  
Clerk / Deputy Clerk

**SCHEDULE "A"**  
**TO BY-LAW NUMBER Z-07-2017**

**Legend**  
**Subject Property**  
**Zone Change to CA**



**Plan 32 BLK I Lots 1, 2 Pt; Lot 3 Concession 17 IL Part Lot 12**  
**Township of North Glengarry**  
**United Counties of Stormont, Dundas & Glengarry**

**This is Schedule "A" to By-Law Z-07-2017**  
**Passed this 21<sup>st</sup> day of August, 2017**

\_\_\_\_\_  
**Mayor/Deputy Mayor**

\_\_\_\_\_  
**CAO/Clerk/Deputy Clerk**



**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

That the Council of North Glengarry authorizes the Clerk and Mayor to enter into a site plan agreement with Choice Properties Limited Partnership C/O CP Reit Ontario Properties; and

That Council adopt by-law 36-2017 and that by-law be read a first, second, third time and enacted in Open Council this 21<sup>st</sup> day of August, 2017.

**Carried**

**Defeated**

**Deferred**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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**MAYOR / DEPUTY MAYOR**

**Deputy Mayor:** Jamie MacDonald

**Councillor:** Jacques Massie

**Councillor:** Brian Caddell

**Councillor:** Jeff Manley

**Councillor:** Michel Depratto

**Councillor:** Carma Williams

**Mayor:** Chris McDonell

**YEA**

**NEA**

\_\_\_\_\_

\_\_\_\_\_

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**Section 9 Item d**

**THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY**

**BY-LAW NO. 36-2017**

**BEING** a by-law to authorize the execution of a Site Plan Control Agreement with Choice Properties Limited Partnership C/O CP Reit Ontario Properties.

**WHEREAS** the Council of the Corporation of the Township of North Glengarry is desirous of entering into a Site Plan Control Agreement with Choice Properties Limited Partnership C/O CP Reit Ontario Properties.

**AND WHEREAS** Section 41 of the Planning Act, R.S.O. 1990 c.P.13, as amended, enables the Municipality to establish a Site Plan Control Area;

**NOW THEREFORE** the Council of the Corporation of the Township of North Glengarry hereby enacts the following as a by-law:

1. The Mayor and CAO/Clerk are hereby authorized to execute, under the Corporation Seal, a Site Plan Agreement with Choice Properties Limited Partnership C/O CP Reit Ontario Properties., owner of the lands described as Lochiel Concession 1Part Lots 37 and 38; Reference Plan 14R1382 Parts 2 and 3; Reference Plan 14R2334 Part 1 Reference Plan 14R3167; Pt Parts 1 and 4 Reference Plan 14R4011; Parts 1 and 2. Town of Alexandria, now in the Township of North Glengarry, County of Glengarry hereto attached (Schedule "A") and forming part of this by-law.

**READ** a first, second, third time and enacted in Open Council, this 21<sup>st</sup> day of August, 2017.

\_\_\_\_\_  
**CAO / Clerk / Deputy Clerk**

\_\_\_\_\_  
**Mayor/ Deputy Mayor**

I hereby certify this to be a true copy of By-law No. 36-2017, and that such by-law is in full force and effect.

\_\_\_\_\_  
**Date Certified**

\_\_\_\_\_  
**CAO / Clerk / Deputy Clerk**

THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY  
SCHEDULE "A" TO  
**BY-LAW # 36-2017**

**SITE PLAN CONTROL AGREEMENT THIS AGREEMENT**, made in triplicate,  
this 21<sup>st</sup> day of August, 2017. **BETWEEN:** The Corporation of the Township of North  
Glengarry (hereinafter called the "Township")

**OF THE FIRST PART**

**AND:** Choice Properties Limited Partnership C/O CP Reit Ontario Properties  
  
(hereinafter called the "Owner")

**OF THE SECOND PART**

**WHERE AS** the Corporation of the Township of North Glengarry Official Plan  
enacted site plan control policies pursuant to Section 41 of the Planning  
Act, R.S.O. 1990, c.

**AND WHEREAS** the Owner owns the lands described as part of lot 37 & 38,  
concession 1 (Former Township of Lochiel) municipally known as 420 Main St.  
South now in the Township of North Glengarry, County of Glengarry.

**AND WHEREAS** the Owner has applied to the Township for approval of the Site  
Plans as received by the Planning Committee pursuant to the Site Plan Control Policy  
and the said Committee has approved the said Plans subject to the Owner entering  
into a Site Plan Control Agreement;

**NOW THEREFORE IN CONSIDERATION OF THE MUTUAL COVENANTS  
CONTAINED HEREIN, THE PARTIES COVENANT AND AGREE AS  
FOLLOWS:**



## Conditions for Site Plan Control Agreement

1. This Agreement shall apply to the owner's land which is described above and in Schedule "A" and to the development and redevelopment of the said lands.
2. The owner covenants and agrees that no development or redevelopment will proceed on the said lands except in accordance with the Plans approved by the Township pursuant to Section 41 of the Planning Act R.S.O. 1990, c.P.B, and more particularly identified in Schedules "A" to "D" inclusive attached hereto.
3. The owner further agrees that the proposed buildings, structures and other works shown on the Plans which is identified as Schedules "A" to "D" inclusive shall be completed in conformity with the said Plans and shall do all acts to provide for the maintenance and use of the requirements set out in the said Agreement.
4. The owner further covenants and agrees, in addition to Conditions 2 and 3 or any other Sections of the Agreement and at its own costs:
  - (a) To complete the installation of all services, works and facilities as shown on Schedule "A" to "D" inclusive within the specified time.
  - (b) To provide and maintain at all time such parking and loading facilities convenient to users and ensuring orderly and safe vehicular and pedestrian movements as shown on Schedule "A" and further agrees that the said areas shall be surfaced with asphalt.
  - (c) To provide and construct all drainage to the satisfaction of the Township as shown on Schedules "C" and "D".
  - (d) To construct an entrance (s) in the location as shown on Schedule "A" and to the satisfaction and according to the specifications of the Township.
  - (e) To provide such walls, fences, hedges, trees and/or shrubs and to landscape the said lands as shown on Schedule "A" and further agrees to maintain same to the satisfaction of the Township.
  - (f) To provide a garbage storage area and to screen same accordingly should it be determined it is required by the Township.
  - (g) To provide adequate on site lighting for the safety of vehicular and pedestrian traffic without interfering with the enjoyment of adjacent properties or the traffic on the adjacent roads as shown on Schedule "A".
  - (h) The owner understands and agrees that all entrance improvements on the Township right-of-way may be carried out by an approved contractor provided

the owner obtains prior written approval from the Township. All improvements to the entrance must conform to current Township standards and specifications. All works on the right-of-way must be inspected and certified by the owner's engineer.

(i) The owner understands and agrees that:

(i) All required work on private property in respect to sanitary and storm sewers and municipal water supply must be carried out in accordance with Township specifications at the expense of the owner.

(ii) Prior to the work commencing, arrangements for the necessary servicing permits and approvals must be made with the Township's Public Works Department.

(iii) The owner must advise the Township's Public Works Department prior to the issuance of any building permit, whether it intends to hire a registered professional engineer to design, inspect and certify the sewer and water installations for this development or the Township will be required to inspect and test the services, at the owner's cost. Municipal water will not be turned on until such time that the installations are approved by the Township through one of the above alternatives.

(j) The owner further understands and agrees that all sewer and water materials installed on private and right-of-way properties must be specified and in compliance with current Township standards.

5. The owner covenants and agrees that all conditions as set out in Section 2, 3 and 4 and as shown on Schedules "A" to "D" inclusive, shall be completed within two years of the issuance of any building permit.
6. The owner further covenants and agrees that prior to receiving a building permit, they will deposit with the Township's Treasury Department an Irrevocable Letter of Credit from a Chartered Bank with drawing rights for not less than one (1) year from date of issue and in the amount of not less than fifty (50%) percent of the "Total X" of Schedule "D" attached, renewable on a annual basis if the subdivision has not obtained final acceptance this being the total of the Consultant's approved estimate of quantities and prices, by item, for the construction of all underground facilities plus the estimated cost of site inspection associated with these works and the project administration by the Consultant, which approved estimate shall be dated not more than three (3) months prior to the date of the Letter of Credit, plus the Township Administration Fee of two

(2%) percent of the total estimated cost of constructing the facilities, plus the underground installation costs of utility companies.

7. From time to time during the construction of underground facilities, the Consultant shall prepare a Progress Certificate indicating the total amount of work completed as of the date of the Progress Certificate by the Engineer, the Township Treasurer may reduce the balance of the Letter of Credit by the "Total Balance Due" (this being the difference between the "Total Work Performed to Date" and the "Total Paid to Date") less ten (10% percent of the "Total Work Performed to Date". At no time will the Letter of Credit be reduced to below the value of the "Total Y" of Schedule "D".

Upon satisfactory completion of the works and the issuing of the letter of preliminary acceptance of the facilities, the holdback will be reduced to five (5%) percent plus the value of uncompleted works (if any). The five (5%) percent holdback will be released upon expiry of the Guaranteed Maintenance Period.

8. All entrances, exits and fire routes within the lands shall, at all times, be kept clean and clear of snow or debris to the satisfaction of the Township, failing which the Township shall have the right to enter upon the said lands, undertake the clearing and removal of snow or debris on all entrances, exits and Fire Routes and recover from the owner all costs, through the deposited by the owner with the Township (prior to project completion) or by action or in like manner as municipal taxes (post project completion) as provided as taxes that are overdue and payable.

9. The owner will indemnify the Township and each of its officers, servants, and agents from all loss, damage, damages, costs, expenses, claims, demands, actions, suits or other proceedings of every nature and kind arising from or in consequence of the execution, non-execution or imperfect execution of any of the work herein before mentioned or of the supply or non-supply of material therefore, whether such loss, damage, damages, costs, expenses, claims, demands, actions, suits or other proceedings arise by reason of negligence or without negligence on the part of the owner or its contractors, officers, servants or agents, or whether such loss, damage, damages, costs, expenses, claims, demands, actions, suits or other proceedings are occasioned to or made or brought against the Owner or its contractors, officers, servants, or agents or the Township, its officers, servants, or agents.

10. The owner agrees to consent to the registration of this Agreement against the said lands by way of "Notice of Agreement" and understands that the said Agreement shall remain on title in perpetuity.

11. The owner understands and agrees that he shall be responsible for all fees incurred in the registration of this Agreement against the title to the said property,



and for all registration fees incurred in the registration of any subsequent amendment or deletion of the Agreement from title and for any approvals or consents required to register the Agreement.

12. The owner shall arrange for and shall be responsible for all fees incurred in the registration of postponements of all debentures, charges, mortgages, or other similar documents registered prior to the registration of this Agreement.

13. The owner understands and agrees that any modifications to the site, additional structures, building additions and/or new buildings on the said lands shall require an amendment to this Agreement, if deemed by the Township to be of a magnitude to warrant such an amendment.

**THIS AGREEMENT** shall be binding upon the parties hereto and their respective successors and assigns.

**IN WITNESS WHEREOF** the parties hereto have hereunto placed their respective hands and seals to these presents.

**SIGNED, SEALED AND DELIVERED**

In the presence of

) \_\_\_\_\_  
)  
)  
)  
) \_\_\_\_\_  
)  
)  
)  
) CORPORATION OF  
) THE TOWNSHIP OF  
) NORTH GLENGARRY  
)  
)  
) \_\_\_\_\_  
) **Mayor/Deputy Mayor**  
)  
)  
) \_\_\_\_\_  
) **CAO/Clerk/Deputy Clerk**

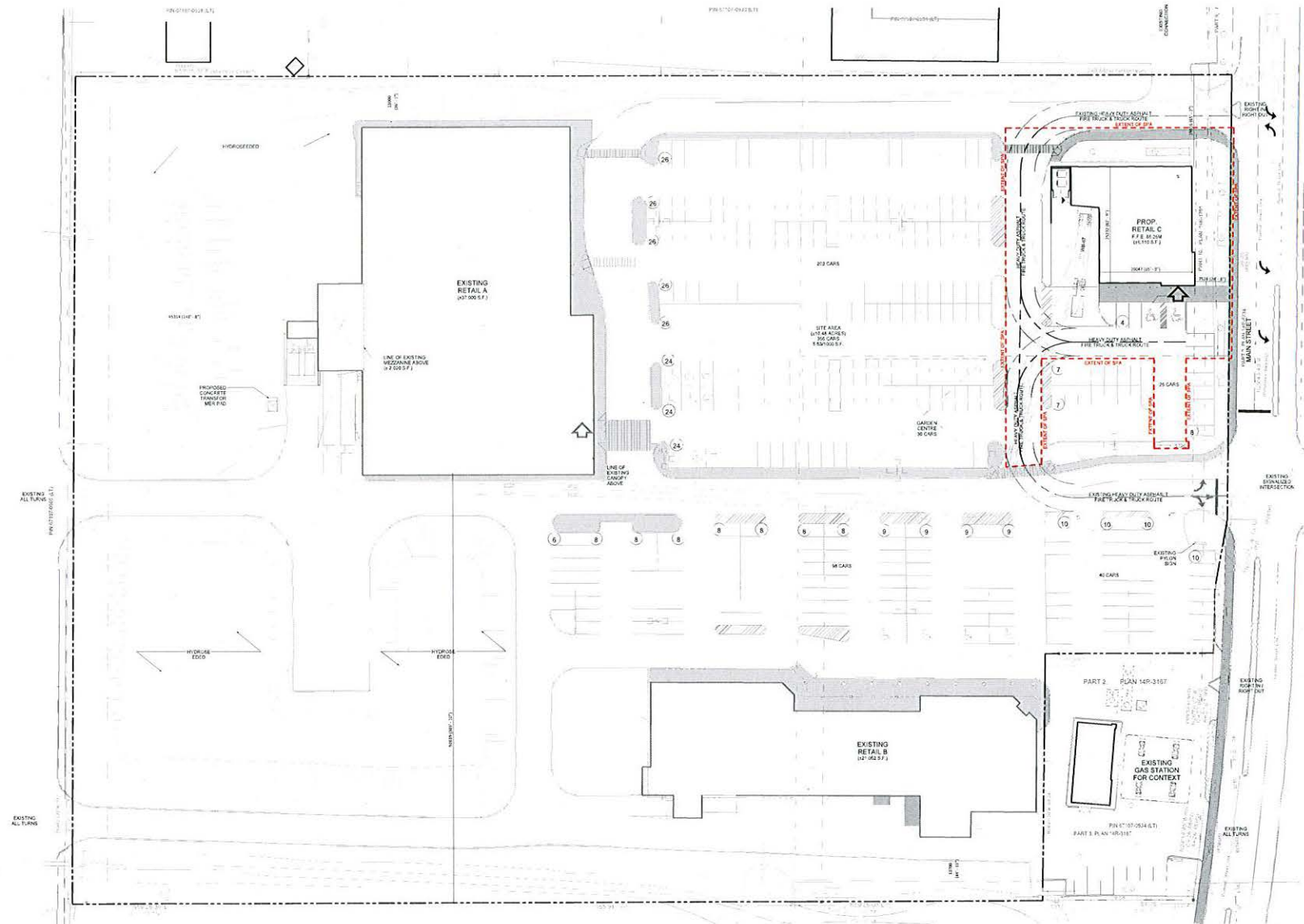
SCHEDULE

"A" SITE

PLAN







1 SITE PLAN  
Scale: 1:300

**TURNER FLEISCHER**  
 40 South Road, Toronto, Ontario M5S 1A8  
 Telephone: (416) 593-1111  
 turnerfleischer.com

**City of North York**  
 Planning, Inspections & Review Department  
 100 Queen Street East, Toronto, Ontario M5C 1B6  
 Telephone: (416) 392-2222

**OKAN DETECH**  
 100 Queen Street East, Toronto, Ontario M5C 1B6  
 Telephone: (416) 593-1111

**KUNZBERGER + COFFERT**  
 100 Queen Street East, Toronto, Ontario M5C 1B6  
 Telephone: (416) 593-1111

**FOTENN**  
 100 Queen Street East, Toronto, Ontario M5C 1B6  
 Telephone: (416) 593-1111

**SITE DATA**  
 PART OF LOT 17 AND 38  
 CONSIDERED AS  
 100 QUEEN STREET EAST  
 COUNTY OF GLENDALE

SITE AREA	118,491 ALRES	14,241.4
EXISTING RETAIL A	407,000 S.F.	43,417.0 M <sup>2</sup>
EXISTING RETAIL B	47,462 S.F.	4,988.0 M <sup>2</sup>
EXISTING RETAIL C	47,990 S.F.	4,998.0 M <sup>2</sup>
PROPOSED RETAIL C	77,812 S.F.	8,069.0 M <sup>2</sup>
TOTAL RETAIL AREA	964,264 S.F.	103,482.0 M <sup>2</sup>
PROPOSED TOTAL AREA	964,264 S.F.	103,482.0 M <sup>2</sup>
PARKING PROVIDED	306 CARS	
IN CL. GARDEN CENTRE	30 CARS	3,165.0 M <sup>2</sup>
IN CL. GARDEN CENTRE	30 CARS	3,165.0 M <sup>2</sup>
IN CL. GARDEN CENTRE	30 CARS	3,165.0 M <sup>2</sup>
COVERAGE	14.56%	

EXISTING RETAIL A	407,000 S.F.	43,417.0 M <sup>2</sup>
PROPOSED RETAIL C	77,812 S.F.	8,069.0 M <sup>2</sup>
TOTAL RETAIL	484,812 S.F.	51,486.0 M <sup>2</sup>
IMPERVIOUS	484,812 S.F.	51,486.0 M <sup>2</sup>
PERVIOUS	477,122 S.F.	50,808.0 M <sup>2</sup>

**Choice Properties**

420 MAIN STREET SOUTH  
 ALBERTA DISTRICT

OVERALL SITE PLAN

DATE	2024.06.13
PROJECT	420 MAIN STREET SOUTH
SCALE	AS SHOWN
PROJECT NO.	2024.06.13
DATE	2024.06.13
SCALE	AS SHOWN
PROJECT NO.	2024.06.13

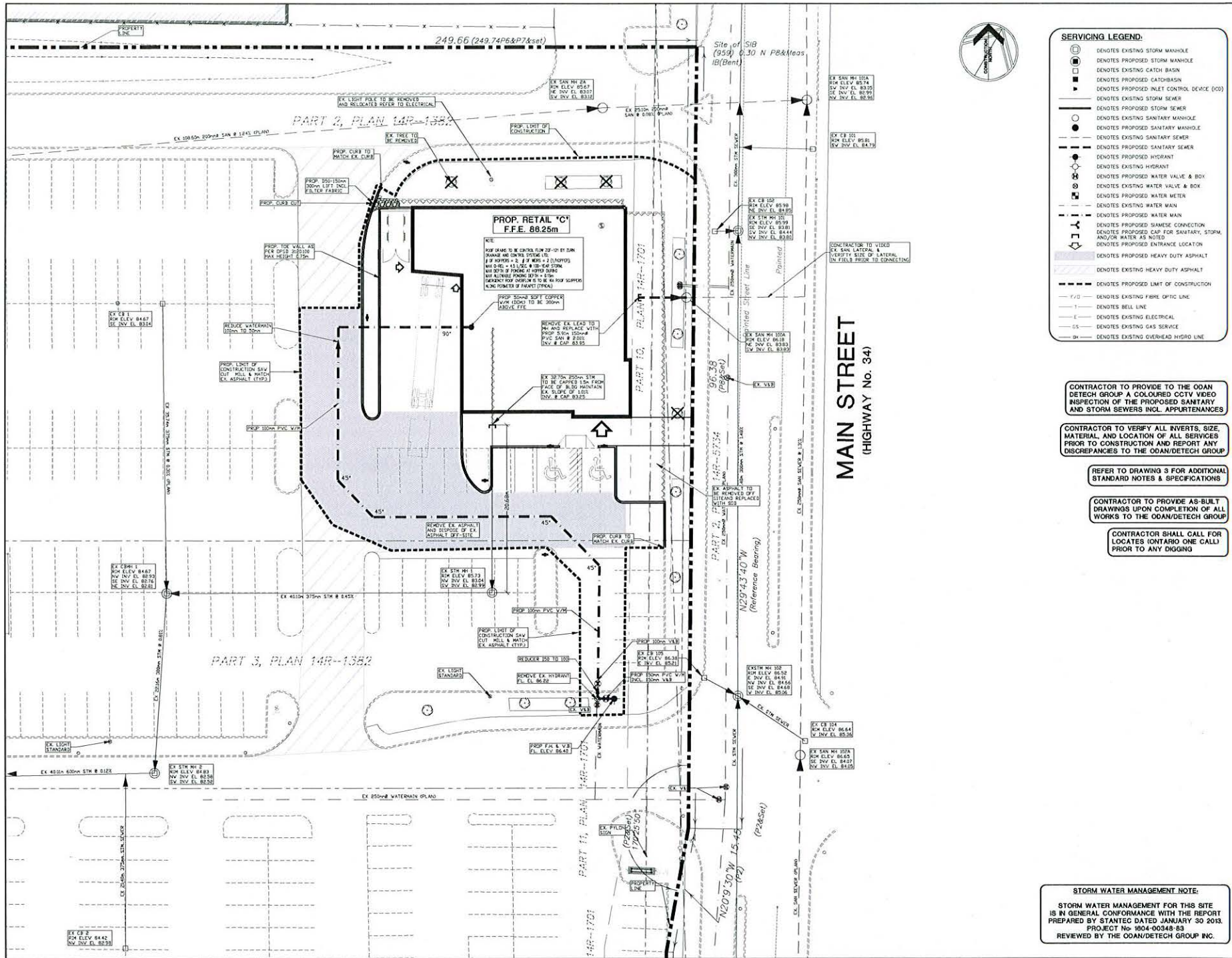
A1-9.1



SCHEDULE "B"

**STORM WATER MANAGEMENT**





**SERVICING LEGEND:**

- DENOTES EXISTING STORM MANHOLE
- DENOTES PROPOSED STORM MANHOLE
- DENOTES EXISTING CATCH BASIN
- DENOTES PROPOSED CATCH BASIN
- DENOTES EXISTING INLET CONTROL DEVICE (ICD)
- DENOTES PROPOSED INLET CONTROL DEVICE (ICD)
- DENOTES EXISTING STORM SEWER
- - - DENOTES PROPOSED STORM SEWER
- DENOTES EXISTING SANITARY MANHOLE
- DENOTES PROPOSED SANITARY MANHOLE
- DENOTES EXISTING SANITARY SEWER
- - - DENOTES PROPOSED SANITARY SEWER
- DENOTES EXISTING HYDRANT
- DENOTES PROPOSED HYDRANT
- DENOTES EXISTING WATER VALVE & BOX
- DENOTES PROPOSED WATER VALVE & BOX
- DENOTES EXISTING WATER METER
- DENOTES PROPOSED WATER METER
- DENOTES EXISTING WATER MAIN
- - - DENOTES PROPOSED WATER MAIN
- DENOTES PROPOSED SANIASE CONNECTION
- DENOTES PROPOSED CAP FOR SANITARY, STORM, AND/OR WATER AS NOTED
- DENOTES PROPOSED ENTRANCE LOCATION
- DENOTES PROPOSED HEAVY DUTY ASPHALT
- DENOTES EXISTING HEAVY DUTY ASPHALT
- - - DENOTES PROPOSED LIMIT OF CONSTRUCTION
- - - DENOTES EXISTING FIBRE OPTIC LINE
- DENOTES EXISTING BELL LINE
- DENOTES EXISTING ELECTRICAL
- DENOTES EXISTING GAS SERVICE
- DENOTES EXISTING OVERHEAD HYDRO LINE

**CONTRACTOR TO PROVIDE TO THE ODAN DETECH GROUP A COLOURED CCTV VIDEO INSPECTION OF THE PROPOSED SANITARY AND STORM SEWERS INCL. APPURTENANCES**

**CONTRACTOR TO VERIFY ALL INVERTS, SIZE, MATERIAL, AND LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ODAN/DETECH GROUP**

**REFER TO DRAWING 3 FOR ADDITIONAL STANDARD NOTES & SPECIFICATIONS**

**CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS UPON COMPLETION OF ALL WORKS TO THE ODAN/DETECH GROUP**

**CONTRACTOR SHALL CALL FOR LOCATES (ONTARIO ONE CALL) PRIOR TO ANY DIGGING**

**STORM WATER MANAGEMENT NOTE:**  
 STORM WATER MANAGEMENT FOR THIS SITE IS IN GENERAL CONFORMANCE WITH THE REPORT PREPARED BY STANTEC DATED JANUARY 30 2013. PROJECT NO. 1004-00548-83. REVIEWED BY THE ODAN/DETECH GROUP INC.



**KEY PLAN**  
 Scale - N.T.S.

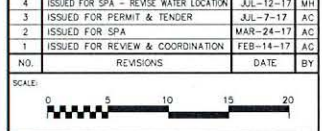
**SUBJECT LANDS**

**NOTE:**  
 THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND UNDERGROUND AND ABOVE GROUND UTILITIES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED BEFORE STARTING THE WORK. THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.  
 THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE ARCHITECTS/ENGINEERS BEFORE PROCEEDING WITH THE WORK.  
 ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ENGINEER WHICH MUST BE RETURNED AT THE COMPLETION OF WORK.  
 THIS DRAWING IS NOT TO BE SCALED.  
 THIS PLAN MUST NOT BE USED TO SITE THE PROPOSED BUILDINGS. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER/CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS: ROAD CUT, SEWER PERMITS, REDLOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC.  
 EXISTING TOPOGRAPHICAL INFORMATION SUPPLIED BY SPEIGHT, VAN NOSTRAND & GIBSON LIMITED.  
 BOUNDARY DATA DERIVED FROM INFORMATION FROM SPEIGHT, VAN NOSTRAND & GIBSON LIMITED.

**ELEVATION NOTE:**  
 ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE TOWNSHIP OF ALEXANDRIA. BENCH MARK NO. 862-1252.  
 LOCATION:  
 CANADIAN TOWN ON SOUTHWEST SIDE OF HIGHWAY NO. 34, 0.5KM SOUTHWEST OF TOWN HALL, 0.7KM NORTHWEST OF INTERSECTION WITH FRONT STREET (ARBIT. W. NORTH CONCRETE FOUNDATION WALL OF NORTHERLY PART OF BUILDING NEAR LOADING DOCK, ALONG BELLEVILLE BLOCK BOUND, 300M FROM NORTHEAST CORNER.  
 ELEVATION:  
 PUBLISHED ELEVATION = 84.352 meters.

**ELEVATION NOTE:**  
 BEARINGS ARE ASTROMERIC AND ARE REFERRED TO THE WESTERLY LIMIT OF MAIN STREET AS SHOWN ON PLAN 14R-1375A, HAVING A BEARING OF N28°42'07".

NO.	REVISIONS	DATE	BY
4	ISSUED FOR SPA - REVISE WATER LOCATION	JUL-12-17	MH
3	ISSUED FOR PERMIT & TENDER	JUL-7-17	AC
2	ISSUED FOR SPA	MAR-24-17	AC
1	ISSUED FOR REVIEW & COORDINATION	FEB-14-17	AC



**SITE SERVICING PLAN**

**CLIENT:**  
 CHOICE PROPERTIES REIT  
 22 ST. CLAIR AVENUE EAST, SUITE 500  
 TORONTO, ONTARIO M4T 2S5

**PROJECT:**  
 PROPOSED RETAIL 'C'  
 420 MAIN STREET SOUTH  
 ALEXANDRIA, ONTARIO

**ODAN-DETECH**  
 CONSULTING ENGINEERS

The Odan/Detech Group Inc. P. (905) 832-3811 F. (905) 832-3383  
 5730 SOUTH SERVICE ROAD, BURLINGTON, ONTARIO L7R 4K3

SCALE:	PROJ. NO.:	DATE:	DESIGN BY:
1:200	15270	FEB/17	J.K.
15270-1D.DWG			DRAWN BY:
			A.C.
			CHECKED BY:
			M.H.H.
			APPROVED BY:
			J.K.
			DRWG. NO.:
			1 OF 3
FILE NUMBER	ENGINEER		

**GENERAL NOTES**

1. DRAWINGS ARE NOT TO BE SCALE
2. DO NOT SITE DIMENSIONS WITH THIS DRAWING
3. ALL DIMENSIONS TO BE CHECKED AND NOTED ON THE SITE PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING
4. UNLESS OTHERWISE NOTED ON THE DRAWINGS THE STANDARD TOWN, RESIDENTIAL, AND INDUSTRIAL AND OFFICE ARE TO CONSTITUTE PART OF THIS CONTRACT AND SITE PLAN DRAWINGS
5. REFER TO TOWN STANDARDS AND SPECIFICATIONS FOR LIST OF APPROVED DIMENSIONS AND MATERIALS EXISTING STRUCTURES ARE NOT TO BE DISTURBED, NOR ENCROACHMENT ON ADJACENT PROPERTIES UNLESS INDICATED BY THE ENGINEER
6. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER FROM OBTAINING AND MAINTAINING FORM, BUT NOT LIMITED TO THE FOLLOWING PERMITS: ROAD CUTS, STREET PLANS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL, PERMITS, ETC. ALL PERMITS ARE PER TOWN STANDARDS
7. PRIOR TO CONSTRUCTION, THE ENGINEER IS TO BE NOTIFIED BY THE OWNER AND THE CONTRACTOR AS TO THE EXTENT OF THE CONSTRUCTION LIMITS THEY PROPOSE. THE TOWN IS TO BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION
8. THIS PLAN IS TO BE READ IN CONNECTION WITH THE SITE PLAN, LANDSCAPE PLAN, SITE ELECTRICAL PLANS, AND ANY OTHER PLANS OR DRAWINGS WHICH BECAME PART OF THE PROPOSED WORK FOR THIS PROJECT
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SAFETY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE, CONEPLACEMENT, BARRIERS AND BARRICADES. ALL SIGNAGE SHALL CONFORM TO THE STANDARD CITY SPECIFICATIONS FOR THE TOWN AND THE MUTUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR ONTARIO
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND MAINTAIN EXISTING UTILITIES AND SHALL PROVIDE FOR CLEAN-UP AND DEMOLITION AS DIRECTED BY THE TOWN. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO CONTROL DUST ON THE PROJECT AND HE SHALL PROVIDE AT HIS OWN EXPENSE, CONTROLLING MEASURES AS DIRECTED BY THE TOWN
11. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES TO BE DETERMINED IN THE FIELD
12. THE CONTRACTOR SHALL PROTECT ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE TOWN
13. HEALTHY TREES SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE TOWN
14. ANY UTILITY RELOCATIONS DUE TO THIS DEVELOPMENT ARE TO TAKE PLACE AT THE EXPENSE OF THE DEVELOPER/OWNER
15. ALL SERVICES AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ENGINEER WHICH MUST BE RETURNED AT THE COMPLETION OF WORK
16. DIMENSIONS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0 M FROM ALL ADJACENT SERVICES OR OTHER UTILITIES
17. ALL CONSTRUCTION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS
18. CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MIN OF 4.0M CLEARANCE FROM EXISTING CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE TO THE SATISFACTION OF THE TOWN
19. LOCATION SHALL BE AS PER THE TOWN
20. MINIMUM CLEARANCE OF 1.0M FROM ALL ABOVE GROUND SERVICES AND UTILITIES
21. EXISTING UTILITIES TO BE PROTECTED AND MAINTAINED AS FAR AS POSSIBLE AND DEMOLISHED TO MAINTAIN ADEQUATE CLEARANCE AT THE PROPERTY LINE
22. ALL WORK WITHIN TOWN RIGHT-OF-WAY TO BE PERFORMED BY TOWN FORCE OR AN APPROVED CONTRACTOR AS PER TOWN STANDARDS UNLESS OTHERWISE DIRECTED BY THE ENGINEER
23. ALL EXISTING SERVICES ARE TO BE CONSIDERED ON SITE PRIOR TO CONSTRUCTION INCLUDING SEWER, WATER, WIRELESS, FIBRE, AND CABLE. ANY ENCROACHMENTS SHALL BE PERMITTED TO THE ENGINEER
24. ALL RELOCATION, PROTECTION AND RESTORATION TO BE PERFORMED TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING

**WATER**

1. WATER MAINS ARE TO BE 150-200mm TO CSA B137.3, INCLUDING IN-BRANCH TRAPS BETWEEN INTERVENS OR OTHER CONDUITING APPROPRIATE. PIPE SHALL HAVE A MINIMUM COVER OF 0.7M
2. ALL WATER MAINS ARE TO BE APPROVED DESIGN, MECHANICAL OR FLANGED JOINTS AS REQUIRED FOR 100% UNIDIRECTIONAL FLOW. CORROSION PROTECTION FOR ALL FITTINGS, VALVES AND HAPTANS (PROTECTIVE COATING)
3. ALL DOMESTIC WATER SERVICES SHALL BE TYPE "C" SOFT COPPER AND INSTALLED AS PER OPS-1104.01 (CONCRETE) AND OPS-1104.02 (TYPICAL) 30mm AND 50mm, SIZE AS PER PLAN
4. BIDDING AND COVER AS PER OPS 802.010, TYPE 1, IN A GRANULAR BED COMPACTED TO 100% STD
5. ALL WATER MAIN FITTINGS AND APPROPRIATE TO BE SELECTED FROM TOWN APPROVED MANUFACTURER LIST FOR WATER
6. WATER MAIN SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 0.5M BENEATH AND 0.5M ABOVE AND A HORIZONTAL SEPARATION OF 2.0M BETWEEN ANY SERVICE OR MANHOLE
7. EXISTING WATER MAIN SHALL BE PROTECTED BELOW PROPOSED GRADES TO MAINTAIN 150mm COVER AS PER TOWN STANDARDS AND SPECIFICATIONS. SURFACE WATER MAIN, IF NECESSARY
8. CONTRACTOR TO CONFIRM THE SIZE AND MATERIAL TYPE OF EXISTING WATER SERVICE AND WATER MAIN PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER
9. EXISTING WATER MAIN COVERS TO BE CONSIDERED ON SITE AT THE TIME OF CONSTRUCTION
10. WATER MAIN AND SERVICES SHALL BE COVERED FROM FRESH BRICKS, UNLESS OTHERWISE NOTED
11. ALL TAPPING SLEEVES TO BE STAINLESS STEEL, EQUAL TO MANHOLE TYPE, COMPLETE WITH VALVE
12. ALL VALVE AND BOX ASSEMBLIES SHALL BE INSTALLED AS PER OPS-1101.01
13. ALL INTERVENS SHALL BE INSTALLED AS PER OPS 1102.01, WITH CORROSION PROTECTION AS PER TOWN STANDARDS. ALL INTERVENS SHALL CONFORM TO TOWN SPECIFICATIONS COO-14. THE OPERATION SHALL BE COMPLETE WITH VALVE AND THEY SHALL HAVE 2.0M MIN. HEIGHTS AND 1.00M MIN. SPACING
14. ALL TAPPING SLEEVES SHALL BE AS PER OPS-1102.01 (HORIZONTAL) AND OPS-1102.02 (VERTICAL)
15. FRONT SQUARE ARE TO BE PROVIDED ON CURB STREETS AND SIDEWALKS WITHIN THE LIMITS OF THE DRIVEWAY
16. ALL WATER MANHOLES SHALL BE AS PER OPS-1101.01 (B) ALL WATER MAIN BLOCK OFF ASSEMBLIES SHALL BE AS PER OPS-1104.03, 2.0M
17. ALL PAVEMENT REINFORCEMENT SHALL BE AS PER OPS-200.010, FOR LIMITS CURB, BACKFILL AS PER TOWN STD. PAVING, SHOWN. AND TESTING OF WATER MAIN AS PER OPS-1000.010, DIMENSIONS AND SPECIFICATIONS

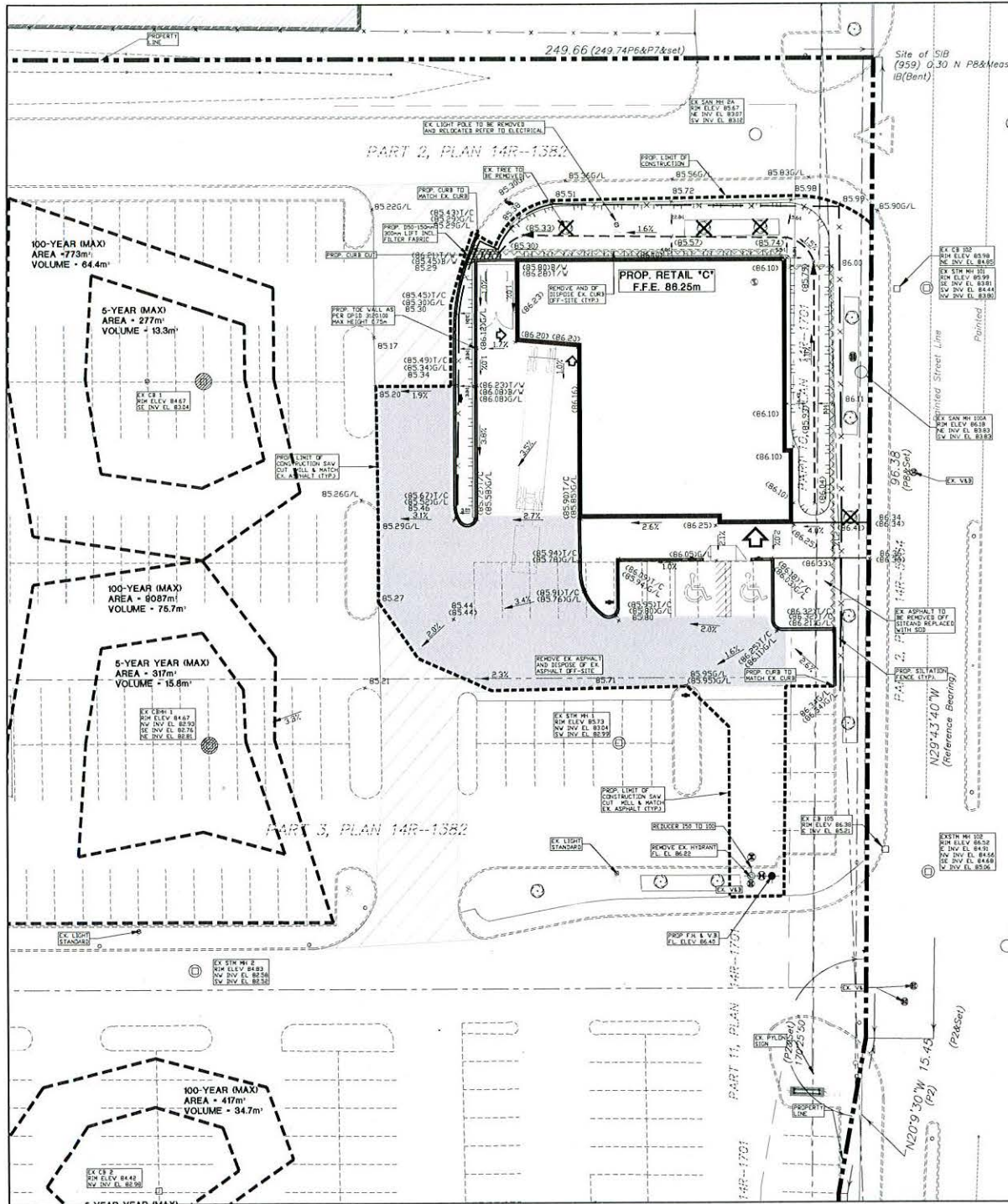
**SANITARY**

1. ALL SANITARY SEWERS 200mm AND GREATER ARE TO BE PVC 35.35 IN ACCORDANCE WITH CSA-B182.2, ASTM D-3779 AND ASTM D-3022 OR LATEST REVISIONS UNLESS OTHERWISE NOTED
2. ALL SANITARY SEWERS 150mm AND LESS ARE TO BE PVC 35.35 IN ACCORDANCE WITH CSA-B182.2, ASTM D-3779 AND ASTM D-3022 OR LATEST REVISIONS, UNLESS OTHERWISE NOTED
3. BIDDING AND COVER FOR PVC SANITARY SEWERS AS PER OPS 802.010, GRANULAR "A" COMPACTED TO 100% STD
4. THE CONTRACTOR IS TO CARE ALL SANITARY SERVICES 2.0 METRES AWAY FROM THE PROPOSED BUILDING LINES UNLESS OTHERWISE NOTED
5. ALL SANITARY SERVICES TO BUILDINGS SHALL BE AT A MINIMUM COVER OF 1.0M
6. SANITARY MANHOLES SHALL BE AS PER OPS-1103.01, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.02, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.03, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.04, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.05, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.06, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.07, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.08, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.09, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.10, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.11, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.12, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.13, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.14, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.15, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.16, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.17, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.18, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.19, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.20, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.21, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.22, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.23, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.24, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.25, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.26, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.27, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.28, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.29, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.30, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.31, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.32, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.33, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.34, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.35, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.36, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.37, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.38, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.39, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.40, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.41, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.42, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.43, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.44, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.45, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.46, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.47, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.48, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.49, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.50, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.51, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.52, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.53, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.54, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.55, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.56, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.57, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.58, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.59, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.60, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.61, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.62, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.63, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.64, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.65, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.66, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.67, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.68, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.69, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.70, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.71, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.72, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.73, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.74, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.75, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.76, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.77, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.78, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.79, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.80, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.81, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.82, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.83, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.84, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.85, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.86, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.87, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.88, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.89, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.90, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1103.91, 120 DIA., 120 DIA., 120 DIA. 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(SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.70, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.71, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.72, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.73, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.74, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.75, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.76, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.77, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.78, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.79, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.80, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.81, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.82, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.83, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.84, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.85, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.86, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.87, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.88, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.89, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.90, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.91, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.92, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.93, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.94, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.95, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.96, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.97, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.98, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1104.99, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.00, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.01, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.02, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.03, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.04, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.05, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.06, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.07, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.08, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.09, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.10, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.11, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.12, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.13, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.14, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.15, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.16, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.17, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.18, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.19, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.20, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.21, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.22, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.23, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS PER OPS-1105.24, 120 DIA., 120 DIA., 120 DIA. (SLOTTED) (SCHEDULE 40) OR AS

SCHEDULE "C"

LOT GRADING



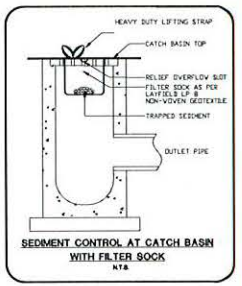
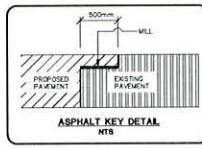


**MAIN STREET**  
(HIGHWAY No. 34)



**GRADING LEGEND:**

- DENOTES EXISTING STORM MANHOLE
- DENOTES PROPOSED STORM MANHOLE
- DENOTES EXISTING CATCH BASIN
- DENOTES PROPOSED CATCH BASIN
- DENOTES EXISTING STORMCEPTOR
- DENOTES PROPOSED STORMCEPTOR
- DENOTES EXISTING SANITARY MANHOLE
- DENOTES PROPOSED SANITARY MANHOLE
- DENOTES EXISTING HYDRANT
- DENOTES PROPOSED HYDRANT
- DENOTES EXISTING WATER VALVE & BOX
- DENOTES PROPOSED WATER VALVE & BOX
- DENOTES EXISTING WATER METER
- DENOTES PROPOSED WATER METER
- DENOTES EXISTING DIAMETER CONNECTION
- DENOTES PROPOSED DIAMETER CONNECTION
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES EXISTING CURB ELEVATION
- DENOTES PROPOSED CURB ELEVATION
- DENOTES EXISTING OUTER LINE ELEVATION
- DENOTES PROPOSED OUTER LINE ELEVATION
- DENOTES EXISTING HIGH POINT
- DENOTES PROPOSED HIGH POINT
- DENOTES EXISTING SWALE INVERT ELEVATION
- DENOTES PROPOSED SWALE INVERT ELEVATION
- DENOTES EXISTING ELEVATION BY OTHERS
- DENOTES PROPOSED ELEVATION BY OTHERS
- DENOTES EXISTING FLOW ARROW AND SLOPE
- DENOTES PROPOSED FLOW ARROW AND SLOPE
- DENOTES EXISTING FLOW ARROW
- DENOTES PROPOSED FLOW ARROW
- DENOTES EXISTING SLOPE (3:1 OR HIGHER)
- DENOTES PROPOSED SLOPE (3:1 OR HIGHER)
- DENOTES EXISTING CONTOUR
- DENOTES PROPOSED CONTOUR
- DENOTES EXISTING SILT FENCE
- DENOTES PROPOSED SILT FENCE
- DENOTES EXISTING ENTRANCE LOCATION
- DENOTES PROPOSED ENTRANCE LOCATION
- DENOTES EXISTING LIMIT OF CONSTRUCTION
- DENOTES PROPOSED LIMIT OF CONSTRUCTION
- DENOTES EXISTING SEDIMENT TRAP AT ALL CURB/CROSS LOCATIONS
- DENOTES PROPOSED SEDIMENT TRAP AT ALL CURB/CROSS LOCATIONS
- DENOTES EXISTING HEAVY DUTY ASPHALT
- DENOTES PROPOSED HEAVY DUTY ASPHALT



**KEY PLAN**  
Scale - N.T.S.

**SUBJECT LANDS**

**NOTE:**  
THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND UNDERGROUND AND ABOVE GROUND UTILITIES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING THE WORK, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.  
THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE ARCHITECTS/ENGINEERS BEFORE PROCEEDING WITH THE WORK.  
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ENGINEER WHICH MUST BE RETURNED AT THE COMPLETION OF WORK.  
THIS DRAWING IS NOT TO BE SCALED.  
THIS PLAN MUST NOT BE USED TO SITE THE PROPOSED BUILDINGS. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER/CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS: ROAD, OUT, SEWER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROVAL AGREEMENTS, ETC.  
EXISTING TOPOGRAPHICAL INFORMATION SUPPLIED BY SPECTRUM, VAN NOSTRAND & GIBSON LIMITED.  
BOUNDARY DATA DERIVED FROM INFORMATION FROM SPECTRUM, VAN NOSTRAND & GIBSON LIMITED.

**ELEVATION NOTE:**  
ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE TOWNSHIP OF ALEXANDRIA BENCH MARK NO. 851-152.

**LOCATION:**  
CANADIAN THE STORE ON SOUTHWEST SIDE OF HIGHWAY No. 34, 0.30M SOUTHWEST OF CORNER WALL, 0.70M NORTHWEST OF INTERSECTION WITH FRONT STREET ALLEY & NORTH CONCRETE FOUNDATION WALL OF NORTHERLY PART OF BUILDING NEAR LOADING DOOR, 4.50M BELOW BLOCK BEING 300M FROM NORTHWEST CORNER.

**ELEVATION:**  
PUBLISHED ELEVATION = 84.362 (m)±0.00

**ELEVATION NOTE:**  
BEARINGS ARE ASTROMERIC AND ARE REFERRED TO THE WESTERLY LIMIT OF MAIN STREET AS SHOWN ON PLAN 14R-1574, HAVING A BEARING OF N29°43'40"W.

NO.	REVISIONS	DATE	BY
4	ISSUED FOR SPA - REVISE WATER LOCATION	JUL-12-17	MH
3	ISSUED FOR PERMIT & TENDER	JUL-7-17	AC
2	ISSUED FOR SPA	MAR-24-17	AC
1	ISSUED FOR REVIEW & COORDINATION	FEB-14-17	AC



**SITE GRADING PLAN & EROSION AND SEDIMENT CONTROL PLAN**

**CLIENT:**  
CHOICE PROPERTIES REIT  
22 ST. CLAIR AVENUE EAST, SUITE 500  
TORONTO, ONTARIO M4T 2B5

**PROJECT:**  
PROPOSED RETAIL 'C'  
420 MAIN STREET SOUTH  
ALEXANDRIA, ONTARIO

**SCALE:** 1:200  
**PROJ. NO.:** 15270  
**DATE:** FEB/17

DESIGN BY:	DATE:
J.K.	FEB/17
A.C.	
CHECKED BY:	
M.H.H.	
APPROVED BY:	
J.K.	
DRWG. NO.:	
15270-1D.DWG	
FILE NUMBER	ENGINEER

**DUST CONTROL:**  
THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONTROLLING DUST NUISANCE RESULTING FROM THEIR OPERATIONS, BOTH ON THE SITE AND WITHIN THE ADJACENT RIGHT-OF-WAYS DURING CONSTRUCTION.  
WATER SHALL BE APPLIED TO AREAS ON OR ADJACENT TO THE SITE, AS REQUIRED, FOR THE PREVENTION OF DUST NUISANCE TO THE PUBLIC.  
SHOULD DUST BE PRESENT UPON COMPLETION OF CONSTRUCTION THE AREAS SHALL BE REVIEWED WITH THE OWNER AND ENGINEER TO DETERMINE IF TEMPORARY MEASURES WILL BE REQUIRED.

**REFER TO DRAWING 3 FOR ADDITIONAL STANDARD NOTES & SPECIFICATIONS**

**THE CONTRACTOR SHALL CLEAN ANY MUD TRACKING ONTO THE ADJACENT PARKING LOTS AND RIGHT OF WAYS DAILY**

**CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS UPON COMPLETION OF ALL WORKS TO THE ODAN/DETECH GROUP**

**THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES LIMITING THE AMOUNT OF EXPOSED SOIL, USING FILTER CLOTH UNDER THE GRATES OF CATCH-BASINS AND MANHOLES AND INSTALLING SILT FENCES AND OTHER EFFECTIVE SEDIMENT TRAPS. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.**



SCHEDULE "D"

**SECURITIES/COST ESTIMATES**



**FEE BREAKDOWN**  
**RE: SITE PLAN CONTROL AGREEMENT**

Site Plan Fee = \$2,000.00

2% Administration Fee  
(\$1,275,560.00 x 2%=\$25,511.20)

**Total Cost of Fees = \$2,000.00**  
**+ \$25,511.20**  
**\$27,511.20**

**Additional Information Required**  
**Letter of Credit - \$102,780.00**

**SUMMARY COST ESTIMATE - SET A -**

**PROJECT:** Proposed Retail "B"  
420 Main Street South  
Alexandria, Ontario

**CLIENT:** Choice Properties REIT  
**DATE:** February 23, 2017  
**PROJECT No.:** 15270  
**DRAWING REF.:** SET A

<b>SECTION 1.0 SITE PREPARATION AND EARTHWORKS</b>					
1.1	Mobilization; i.e. Layout, Site office, etc.	1	LS	\$ 10,000.00	\$ 10,000.00
1.2	Silt Fence	120	m	\$ 20.00	\$ 2,400.00
1.3	Construction Maintenance; i.e. dust control, traffic control, sediment controls, etc.	1	LS	\$ 5,000.00	\$ 5,000.00
1.4	Site Preparation; cleaning of debris, topsoil & sod removal etc.	1	LS	\$ 10,000.00	\$ 10,000.00
1.5	Remove Existing Asphalt & Curb	1	LS	\$ 10,000.00	\$ 10,000.00
1.6	Rough Grading for Building Pad & Site; Import Granular "B"; Export Excess Material	1	LS	\$ 30,000.00	\$ 30,000.00
<b>SUBTOTAL</b>					<b>\$ 67,400.00</b>

<b>SECTION 2.0 SANITARY SEWERS</b>					
2.1	150mm PVC Sanitary Sewer	8	m	\$ 250.00	\$ 2,000.00
2.2	Rebench Existing Sanitary Manhole	1	LS	\$ 2,500.00	\$ 2,500.00
2.3	Flush & Video Existing Sanitary Sewer	1	LS	\$ 2,000.00	\$ 2,000.00
<b>SUBTOTAL</b>					<b>\$ 6,500.00</b>

<b>SECTION 3.0 WATERMAIN AND APPURTENANCES</b>					
3.1	100mm dia. PVC Watermain ; Including Asphalt Restoration, Tees, Bends and Reducers.	65	m	\$ 225.00	\$ 14,625.00
3.2	50mm dia. Water Service	5	m	\$ 200.00	\$ 1,000.00
3.3	100mm dia. Valve	1	ea.	\$ 2,000.00	\$ 2,000.00
3.4	Decommission Ex. Water in ROW incl. Restoration	2	ea.	\$ 5,000.00	\$ 10,000.00
3.5	Connection to Existing Watermain incl. Hydrant Relocation & Lead	1	LS	\$ 7,500.00	\$ 7,500.00
3.6	Pressure Test, Swabbing & Chlorination	1	LS	\$ 2,000.00	\$ 2,000.00
<b>SUBTOTAL</b>					<b>\$ 37,125.00</b>

<b>SECTION 4.0 SURFACE FEATURES</b>					
4.1	Concrete Barrier Curb	95	m	\$ 75.00	\$ 7,125.00
4.2	Concrete Islands, Pads and Sidewalks	125	m <sup>2</sup>	\$ 100.00	\$ 12,500.00
4.3	Light Duty Asphalt, New Asphalt pad with Gran. A	260	m <sup>2</sup>	\$ 35.00	\$ 9,100.00
4.4	Heavy Duty Asphalt, New Asphalt, pad with Gran. A	590	m <sup>2</sup>	\$ 45.00	\$ 26,550.00
4.5	Fine Grading of Boulevards (Import and Place Topsoil)	1	LS	\$ 5,000.00	\$ 5,000.00
				<b>SUBTOTAL</b>	<b>\$ 60,275.00</b>

<b>TOTAL</b>	<b>\$ 171,300.00</b>
<b>20% CONTINGENCY</b>	<b>\$ 34,260.00</b>
<b>TOTAL ESTIMATED COST</b>	<b>\$ 205,560.00</b>

**NOTE:**

Estimate does not include on site electrical work, illumination and landscaping

Estimate does not for contamination or poor soil conditions

Estimate does not include consultant or construction fees and permits

Estimate does not include HST



# **Section 10**

## **FIRE DEPARTMENT**

**Patrick Gauthier**

**Section 11**

**PUBLIC WORKS**

**DEPARTMENT**

**Ryan Morton**



## **Section 12**

# **CORRESPONDENCE**



12(a)

**Public Works Advisory Committee Meeting**

**Monday June 19, 2017 at 2:30 p.m.**

**Gary Shepherd Hall**

**102 Derby Street West, Alexandria, Ontario, K0C 1A0**

1. The Public Works Advisory Committee Meeting of June 19, 2017 held at the Gary Shepherd Hall, was brought to order at 2:30 p.m.

**Present:** **Chair:** Brian Caddell  
**Mayor:** Chris McDonell  
**Deputy Mayor:** Jamie MacDonald  
**Councillor:** Carma Williams  
**Councillor:** Jeff Manley  
**Councillor:** Michel Depratto  
**Member at Large:** Kevin Van den Oetelaar  
**C.A.O.:** Daniel Gagnon  
**Public Works Director:** Ryan Morton  
**Director of Transportation:** Roch Lajoie  
**RARE General Manager:** Linda Andrushkoff  
**Acting Utility Manager:** Angela Cullen  
**Recording Secretary:** Micheline Larocque

**Absent:** **Councillor:** Jacques Massie  
**Member at Large:** Ron Aubin  
**Environmental Manager:** Dean McDonald

2. **Accept Agenda – (Additions/Deletion)**

**Additions:**

**Moved by:** Chris McDonell

**Seconded by:** Carma Williams

Moved to accept the agenda.

**Carried**

**3. Declaration – Conflict of Interest**

**4. Adoption of Previous Minutes**

**Resolution No. 2017-20**

**Moved by:** Chris McDonell

**Seconded by:** Carma Williams

**Carried**

**5. Agenda Items**

**a. Water Works Activity Update**

**Resolution No. 2017-21**

**Moved by:** Jeff Manley

**Seconded by:** Jamie MacDonald

The Public Works committee of the Township of North Glengarry hereby receives the Water Works Activity Update presented by Angela Cullen.

**Carried**

**b. Roads Department Activity Update – Roch Lajoie**

**Resolution No. 2017-21**

**Moved by:** Jeff Manley

**Seconded by:** Jamie MacDonald

The Public Works committee of the Township of North Glengarry hereby receives the Road Department Activity Update presented by Roch Lajoie.

**Carried**

**c. RARE Financial – Linda Andrushkoff**

**Resolution No. 2017-21**

**Moved by:** Jeff Manley

**Seconded by:** Jamie MacDonald

The Public Works committee of the Township of North Glengarry hereby receives the RARE Financial Report presented by Linda Andrushkoff.

**Carried**

**d. RARE Plant Capital Update**

**Resolution No. 2017-21**

**Moved by:** Jeff Manley

**Seconded by:** Jamie MacDonald

The Public Works committee of the Township of North Glengarry hereby receives the RARE Plant Capital update presented by Linda Andrushkoff.

**Carried**

**e. Leaf and Yard Waste May 17 - Summary**

**Moved by:**

**Seconded by:**

The Public Works committee of the Township of North Glengarry hereby receives the Summary of the Leaf and Yard Waste of 2017 presented by Linda Andrushkoff.

**Carried**



8. Notice of Motion

9. Closed Session Business

10. Next Meeting:

The next meeting July 17, 2017

Carried

13. Adjournment

Resolution No. 2017-22

Moved by: Jamie MacDonald

Seconded by: Michel Depratto

Moved to adjourn the meeting at 3:04 p.m.

Carried

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Micheline Larocque – Recording Secretary

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Chair – Brian Caddell

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# **Section 13**

## **NEW BUSINESS**

# **Section 14**

# **NOTICE OF MOTION**



# **Section 15**

**QUESTION PERIOD**



**Section 16**

**CLOSED SESSION**

**BUSINESS**

**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

**Proceed "In Camera" Session,**

That the Council of the Township of North Glengarry proceeds in Camera under Section 239 (2) of the *Ontario Municipal Act* at \_\_\_\_\_, in order to address,

**Taxation Discrepancies Corrections** (as this matter deal with advice that is subject to solicitor-client privilege, including communications necessary for that purpose they may be discussed in closed session under sections 239 (2)(f) of the *Ontario Municipal Act*);

**Glengarry Sports Palace Dispute Resolution options** (as this matter deal with advice that is subject to solicitor-client privilege, including communications necessary for that purpose they may be discussed in closed session under sections 239 (2)(f) of the *Ontario Municipal Act*);

And adopt the minutes of the Municipal Council "In Camera" session meeting of August 8, 2017 and August 15, 2017.

<b>Carried</b>	<b>Defeated</b>	<b>Deferred</b>
_____	_____	_____

**MAYOR / DEPUTY MAYOR**

	<b>YEA</b>	<b>NEA</b>
<b>Deputy Mayor:</b> Jamie MacDonald	_____	_____
<b>Councillor:</b> Jacques Massie	_____	_____
<b>Councillor:</b> Brian Caddell	_____	_____
<b>Councillor:</b> Jeff Manley	_____	_____
<b>Councillor:</b> Michel Depratto	_____	_____
<b>Councillor:</b> Carma Williams	_____	_____
<b>Mayor:</b> Chris McDonell	_____	_____

**Section 16 Item a**

**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

Adopt Minutes of "In Camera" Session

That the minutes of the Municipal Council "In Camera" session meeting August 8, 2017 and August 15, 2017 be adopted as printed.

**Carried**

**Defeated**

**Deferred**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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**MAYOR / DEPUTY MAYOR**

**YEA**

**NEA**

**Deputy Mayor:** Jamie MacDonald

**Councillor:** Jacques Massie

**Councillor:** Brian Caddell

**Councillor:** Jeff Manley

**Councillor:** Michel Depratto

**Councillor:** Carma Williams

**Mayor:** Chris McDonell

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**Section 16 Item b**



**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

That we return to the Regular Meeting of Council at \_\_\_\_\_.

**Carried**

**Defeated**

**Deferred**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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**MAYOR / DEPUTY MAYOR**

**YEA**

**NEA**

**Deputy Mayor:** Jamie MacDonald

**Councillor:** Jacques Massie

**Councillor:** Brian Caddell

**Councillor:** Jeff Manley

**Councillor:** Michel Depratto

**Councillor:** Carma Williams

**Mayor:** Chris McDonell

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**Section 16 Item c**

## **Section 17**

**CONFIRMING BY-LAW**

**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

That the Council of the Township of North Glengarry receive By-law 37-2017; and

That Council adopt by-law 37-2017 being a by-law to adopt, confirm and ratify matters dealt with by Resolution and that By-law 37-2017 be read a first, second, third time and enacted in Open Council this 21<sup>st</sup> day of August, 2017.

**Carried**

**Defeated**

**Deferred**

\_\_\_\_\_

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\_\_\_\_\_  
**MAYOR / DEPUTY MAYOR**

**YEA**

**NEA**

**Deputy Mayor:** Jamie MacDonald

**Councillor:** Jacques Massie

**Councillor:** Brian Caddell

**Councillor:** Jeff Manley

**Councillor:** Michel Depratto

**Councillor:** Carma Williams

**Mayor:** Chris McDonell

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**Section 17 Item a**

17(a)

**THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY**

**BY-LAW 37-2017  
FOR THE YEAR 2017**

**BEING A BY-LAW TO ADOPT, CONFIRM AND RATIFY MATTERS DEALT WITH BY RESOLUTION.**

**WHEREAS** s. 5(3) of the *Municipal Act, 2001*, provides that the powers of municipal corporation are to be exercised by its Council by by-law; and

**WHEREAS** it is deemed expedient that the proceedings, decisions and votes of the Council of the Corporation of the Township of North Glengarry at this meeting be confirmed and adopted by by-law;

**THEREFORE** the Council of the Corporation of the Township of North Glengarry enacts as follows:

1. **THAT** the action of the Council at its regular meeting of August 21, 2017 in respect to each motion passed and taken by the Council at its meetings, is hereby adopted, ratified and confirmed, as if each resolution or other action was adopted, ratified and confirmed by its separate by-law; and;
2. **THAT** the Mayor and the proper officers of the Township of North Glengarry are hereby authorized and directed to do all things necessary to give effect to the said action, or to obtain approvals where required, and except where otherwise provided, The Mayor and the Clerk are hereby directed to execute all documents necessary in that behalf and to affix the corporate seal of the Township to all such documents.
3. **THAT** if due to the inclusion of a particular resolution or resolutions this By-law would be deemed invalid by a court of competent jurisdiction then Section 1 to this By-law shall be deemed to apply to all motions passed except those that would make this By-law invalid.
4. **THAT** where a "Confirming By-law" conflicts with other by-laws the other by-laws shall take precedence. Where a "Confirming By-Law" conflicts with another "Confirming By-law" the most recent by-law shall take precedence.

**READ** a first, second and third time, passed, signed and sealed in Open Council this 21<sup>st</sup> day of August, 2017.

\_\_\_\_\_  
**Daniel Gagnon - CAO/Clerk**

\_\_\_\_\_  
**Mayor / Deputy Mayor**

I, hereby certify that the forgoing is a true copy of By-Law No. 37-2017, duly adopted by the Council of the Township of North Glengarry on the 21<sup>st</sup> day of August, 2017.

\_\_\_\_\_  
**Date Certified**

\_\_\_\_\_  
**Clerk/Deputy Clerk**



**Section 18**

**ADJOURN**

**CORPORATION OF  
THE  
TOWNSHIP OF NORTH GLENGARRY**

**RESOLUTION #** \_\_\_\_\_

**DATE:** August 21, 2017

**MOVED BY:** \_\_\_\_\_

**SECONDED BY:** \_\_\_\_\_

There being no further business to discuss, the meeting was adjourned at \_\_\_\_\_.

**Carried**  
\_\_\_\_\_

**Defeated**  
\_\_\_\_\_

**Deferred**  
\_\_\_\_\_

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**MAYOR / DEPUTY MAYOR**

**Deputy Mayor:** Jamie MacDonald  
**Councillor:** Jacques Massie  
**Councillor:** Brian Caddell  
**Councillor:** Jeff Manley  
**Councillor:** Michel Depratto  
**Councillor:** Carma Williams  
**Mayor:** Chris McDonell

<b>YEA</b>	<b>NEA</b>
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**Section 18**