THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

Regular Meeting of Council

Monday August 21, 2017 at 7:00 p.m. – Council Chambers 102 Derby Street West, Alexandria, Ontario K0C 1A0

Draft Agenda

THE MEETING WILL OPEN WITH THE CANADIAN NATIONAL ANTHEM

- 1. ACCEPT THE AGENDA (Additions/Deletions) ® (Carma)
- 2. **DECLARATIONS OF CONFLICTS OF INTEREST**
- 3. ADOPTION OF PREVIOUS MINUTES ® (Jamie)
 - a) Regular Meeting of Council August 8, 2017
 - b) Special Meeting of Council August 15, 2017
- 4. DELEGATION(S)
 - a) Mr. Allan MacDonald re. 200th Anniversary of the foundation of Alexandria
 - b) Kennel By-law Ouellette Road residents
- COMMITTEE RECOMMENDATIONS
- 6. CAO/CLERK'S DEPARTMENT Daniel Gagnon, CAO/Clerk
- 7. COMMUNITY SERVICES DEPARTMENT –

Anne Leduc, Director of Recreation/Community Services

- 8. TREASURY DEPARTMENT Johanna Levac, Treasurer
- 9. PLANNING/BUILDING & BY-LAW ENFORCEMENT DEPARTMENT -

Gerry Murphy, CBO/Senior By-law Enforcement Officer/Planning Manager

- a) Zoning Amendment Z-05-2017 ® (Jacques)
- b) Zoning Amendment Z-06-2017 ® (Brian)
- c) Zoning Amendment Z-07-2017 8 (Jeff)
- d) By-law 36-2017 Site Plan Agreement for Choice Properties Limited ® (Michel)
- 10. FIRE DEPARTMENT Patrick Gauthier, North Glengarry Fire Chief
- 11. PUBLIC WORKS DEPARTMENT Ryan Morton, Director of Public Works
 - c) Agreement between the Township and Xplornet for a tower access (Report to be circulated Monday) ® (Carma)
 - d) Frasier Road Bridge Superstructure Purchase authorization. (Report to be circulated Monday) ® (Jamie)
- 12. CORRESPONDENCE
 - a) Public Works Advisory Committee Minutes June 19, 2017
- 13. NEW BUSINESS
- 14. NOTICE OF MOTION

Next Regular Public Meeting of Council

Monday September 11, 2017 at 7:00 p.m. at the Centre Sandfield Centre, 102 Derby Street West, Alexandria, Ontario.

Note: Meeting are subject to change or cancellation.

15. QUESTION PERIOD (limit of one question per person and subsequent question will be at the discretion of the Mayor/Chair).

16. CLOSED SESSION BUSINESS

Taxation Discrepancies Corrections (as this matter deal with advice that is subject to solicitor-client privilege, including communications necessary for that purpose they may be discussed in closed session under sections 239 (2)(f) of the *Ontario Municipal Act*);

Glengarry Sports Palace Dispute Resolution options (as this matter deal with advice that is subject to solicitor-client privilege, including communications necessary for that purpose they may be discussed in closed session under sections 239 (2)(f) of the *Ontario Municipal Act*);

And adopt the minutes of the Municipal Council "In Camera" session meeting of August 8, 2017 and August 15, 2017.

17. **CONFIRMING BY-LAW**

- a) By-law 37-2017 ® (Brian)
- 18. ADJOURN ® (Jacques)

ACCEPT THE AGENDA

CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

RESOLUTION #			DATE:	August 21, 2017
MOVED BY:				
SECONDED BY:				
That the Council of the Township of Council on Monday August 21, 2		ngarry acce	epts the ago	enda of the Regular Meeting
Carried	Defeated		Deferred	i
	M	AYOR / D	EPUTY N	MAYOR
			YEA	NEA
Deputy Mayor: Jamie MacDonald Councillor: Jacques Massie Councillor: Brian Caddell Councillor: Jeff Manley Councillor: Michel Depratto Councillor: Carma Williams Mayor: Chris McDonell	1			
Section 1				

DECLARATIONS OF CONFLICTS OF INTEREST

ADOPTION OF PREVIOUS MINUTES

CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

RESOLUTION #		DATE: A	ugust 21, 2017
MOVED BY:			
SECONDED BY:			
That the minutes of the following	ng meetings be adopte	ed as circulated.	
	of Council – August of Council – August	•	
Carried	Defeated	Deferred	
	MAYO	R / DEPUTY M.	AYOR
		YEA	NEA
Deputy Mayor: Jamie MacDor Councillor: Jacques Massie Councillor: Brian Caddell Councillor: Jeff Manley Councillor: Michel Depratto Councillor: Carma Williams Mayor: Chris McDonell	nald		

Section 3

THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

REGULAR MEETING OF COUNCIL

Tuesday August 8, 2017 at 7:00 p.m. – Council Chambers 102 Derby Street West, Alexandria, On K0C 1A0

A Regular meeting of the Municipal Council was held on August 8, 2017 at 7:00 p.m., with Mayor Chris McDonell presiding.

PRESENT: Deputy Mayor - Jamie MacDonald

Councillor (Lochiel Ward) – Brian Caddell Councillor (Kenyon Ward) – Jeff Manley

Councillor (Alexandria Ward) – Michel Depratto Councillor (Maxville Ward) – Carma Williams

ALSO PRESENT: CAO – Daniel Gagnon

Treasurer - Annie Levac

Director of Community Services - Anne Leduc

Economic Development & Communication Officer – Tara Kirkpatrick

REGRETS: Councillor at Large - Jacques Massie

Councillor (Maxville Ward) - Carma Williams

- DECLARATIONS OF CONFLICTS OF INTEREST
- ACCEPT THE AGENDA

Resolution No. 1

Moved by: Brian Caddell

Seconded by: Jeff Manley

That the Council of the Township of North Glengarry accepts the agenda of the Regular Meeting of Council on Tuesday August 8, 2017 as amended.

Carried

Additions to the agenda

- 13 New Business By-law 35-2017 Amending By-law 44-2008
- 13 New Business Update on the weeds in the Mill Pond
- 16 Closed Session 239 (2)(a) Title to Municipal land in Mill Square

Closed Session 239 (2)(d) - Succession planning in various municipal departments

Closed Session 239 (2) (f) - Kennel by-law enforcement

ADOPTION OF PREVIOUS MINUTES

Resolution No. 2

Moved by: Jamie MacDonald

Seconded by: Michel Depratto

That the minutes of the following meeting be adopted as circulated.

Special Meeting of Council – July 17, 2017

Carried

4. DELEGATION(S)

a) Presentation of the Financial Statement for 2016 – Jamie Pollock of Craig Keen Despatie Markell LLP

Resolution No. 3

Moved by: Jeff Manley

Seconded by: Brian Caddell

That Mr. Jamie Pollock from Craig Keen Despatie Markell LLP. Chartered Accountants presented to Council the 2016 Financial Statements. Council adopted the 2016 Financial Statements.

Carried

- COMMITTEE RECOMMENDATIONS
- 6. CAO/CLERK'S DEPARTMENT Daniel Gagnon, CAO/Clerk
 - a) By-law 29-2017 Fees and Charges

Resolution No. 4

Moved by: Brian Caddell

Seconded by: Jeff Manley

That the Council of the Township of North Glengarry receive the amended fees and charges bylaw; and

That By-law No. 29-2017 being a by-law to amend the Fees and Charges By-law 07-2016 and that By-law 29-2017 be read a first, second and third time and enacted in Open Council this 8th day of August, 2017; and

That By-law 07-2016 is rescinded.

Carried

Action - LL

- 7. COMMUNITY SERVICES DEPARTMENT Anne Leduc, Director Community Services
 - a) By-law 33-2017 Amend Designated CIP Project Areas

Resolution No. 5

Moved by: Michel Depratto

Seconded by: Jamie MacDonald

That the Council of the Township of North Glengarry receives the Staff Report re. Community Improvement Plan – Designation of the Community Improvement Project Areas; and

That By-law No. 33-2017 be read a first, second and third time and enacted in Open Council this 8th day of August, 2017; and

That By-law 65-2015 is rescinded.

Carried

Action - AL/TK

b) Community Improvement Plan Application Request – 1 Mechanic St W., Maxville

Resolution No. 6

Moved by: Jeff Manley

That Council approves a Financial Incentive Program A (Planning & Design Grant) representing 50% of the cost, up to a maximum of \$300, paid in two equal installments; Program B (Building and Infill Grant) representing a matching grant of 50% up to a maximum of \$7,500 to conduct work on the South and East facades; Program E (Building Permit Fee Infill Grant) equal to 100% of the eligible building permit fees of a maximum of \$750, with the possibility of a Planning Fee Grant of \$500 pending Council approval of a future CIP amendment; Program F (Tax Increment Grant Program), and Program G (CIP Municipal Loan Program) up to a maximum of \$10,000, as submitted by Tanya Rozon for the property situated at 1 Mechanic St W, Maxville.

This client is also eligible for the civic address pilot program and will be provided with a free civic address plaque provided by the municipality and designed as per conditions set by CIPAC.

Carried

Action - TK

c) Key Information Report - Economic Development Funding Opportunities

The Director of Community Services briefed council on the Economic Development Funding Opportunities

- 8. TREASURY DEPARTMENT Johanna Levac, Treasurer
 - a) Investment Policy Quarterly Report April to June 2017

Resolution No. 7

Moved by: Brian Caddell

Seconded by: Jeff Manley

Seconded by: Brian Caddell

That the "Investment Policy – Quarterly Report – April to June 2017" be accepted by Council for information purposes only.

Carried

- PLANNING/BUILDING & BY-LAW ENFORCEMENT DEPARTMENT Gerry Murphy Chief Building Official/Senior By-law Enforcement Officer/Planning Manager
- 10. FIRE DEPARTMENT Patrick Gauthier, North Glengarry Fire Chief
- 11. PUBLIC WORKS DEPARTMENT Ryan Morton, Director of Public Works

12. CORRESPONDENCE

- a) Recreation Advisory Committee Minutes June 13, 2017
- b) Glengarry Sports Palace Board Minutes June 13, 2017
- c) CIP Approvals Committee Minutes July 4, 2017

13. NEW BUSINESS

a) By-law 35-2017 Amending By-law 44-2008

Resolution No. 8

Moved by: Jamie MacDonald

Seconded by: Michel Depratto

That the Council of the Township of North Glengarry receive the amended by-law for the licensing, regulating and keeping of dogs; and

That By-law No. 35-2017 being a by-law to amend the licensing regulating and keeping of dogs by-law 44-2008 and that By-law 35-2017 be read a first, second and third time and enacted in Open Council this 8th day of August, 2017.

Carried

Action - TMcD

b) Update on the weeds in the Mill Pond

Members discussed the timing and process of weed mitigation / harvesting in the Mill Pond.

- 14. NOTICE OF MOTION Next Meeting of Council, August 21, 2017.
- 15. QUESTION PERIOD
- CLOSED SESSION BUSINESS

Resolution No. 9

Moved by: Jeff Manley

Seconded by: Brian Caddell

Proceed "In Camera" Session,

That the Council of the Township of North Glengarry proceeds in Camera under Section 239 (2) of the *Ontario Municipal Act* at 8:19 p.m., in order to address,

Title to Municipal land in Mill Square (as this matter deal with the security of the property of the municipality or local board they may be discussed in closed session under sections 239 (2)(a) of the *Ontario Municipal Act*);

Succession planning in various municipal departments (as this matter deal with labour relations or employee negotiations they may be discussed in closed session under sections 239 (2)(d) of the *Ontario Municipal Act*);

Taxation Discrepancies Corrections (as this matter deal with advice that is subject to solicitorclient privilege, including communications necessary for that purpose they may be discussed in closed session under sections 239 (2)(f) of the *Ontario Municipal Act*);

Kennel By-law Enforcement (as this matter deal with advice that is subject to solicitor-client privilege, including communications necessary for that purpose they may be discussed in closed session under sections 239 (2)(f) of the *Ontario Municipal Act*);

And adopt the minutes of the Municipal Council "In Camera" session meeting of July 17, 2017.

Carried

Resolution No. 10

Moved by: Carma Williams

Seconded by: Jamie MacDonald

That we return to the Regular Meeting of Council at 9:01 p.m.

Carried

17. CONFIRMING BY-LAW

Resolution No. 11

Moved by: Jamie MacDonald

Seconded by: Michel Depratto

That the Council of the Township of North Glengarry receive By-law 34-2017; and

That Council adopt by-law 34-2017 being a by-law to adopt, confirm and ratify matters dealt with by Resolution and that By-law 34-2017 be read a first, second, third time and enacted in Open Council this 8th day of August, 2017.

Carried

18. ADJOURNMENT

Resolution No. 12

Moved by: Jeff Manley

Seconded by: Brian Caddell

There being no further business to discuss, the meeting was adjourned at 9:03 p.m.

Carried

Daniel Gagnon - CAO/Clerk

Mayor / Deputy Mayor

3(b)

THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

SPECIAL MEETING OF COUNCIL

Tuesday August 15, 2017 at 4:00 p.m. – Council Chamber 102 Derby Street West, Alexandria, On K0C 1A0

A Special meeting of the Municipal Council was held on August 15, 2017 at 4:00 p.m., with Mayor Chris McDonell presiding.

PRESENT: Deputy Mayor - Jamie MacDonald

Councillor at Large – Jacques Massie Councillor (Lochiel Ward) – Brian Caddell Councillor (Kenyon Ward) – Jeff Manley

Councillor (Alexandria Ward) – Michel Depratto Councillor (Maxville Ward) – Carma Williams

ALSO PRESENT: CAO/Clerk - Daniel Gagnon

Director of Public Works - Ryan Morton

Treasurer - Annie Levac

Watson & Associates - Consultant - Andrew Grunda Watson & Associates - Consultant - Marco Vincelli

- DECLARATIONS OF CONFLICTS OF INTEREST
- ACCEPT THE AGENDA

Resolution No. 1

Moved by: Carma Williams

Seconded by: Jeff Manley

That the Council of the Township of North Glengarry accepts the agenda of the Special Meeting of Council on Tuesday August 15, 2017.

Carried

- 3. ADOPTION OF PREVIOUS MINUTES
- 4. DELEGATION(S)
- COMMITTEE RECOMMENDATIONS
- 6. CAO/CLERK'S DEPARTMENT Daniel Gagnon, CAO/Clerk
- 7. COMMUNITY SERVICES DEPARTMENT Anne Leduc, Director Community Services
- 8. TREASURY DEPARTMENT Johanna Levac, Treasurer
- 9. PLANNING/BUILDING & BY-LAW ENFORCEMENT DEPARTMENT Gerry Murphy Chief Building Official/Senior By-law Enforcement Officer/Planning Manager
- 10. FIRE DEPARTMENT Patrick Gauthier, North Glengarry Fire Chief
- 11. PUBLIC WORKS DEPARTMENT Ryan Morton, Director of Public Works

- 12. CORRESPONDENCE
- 13. NEW BUSINESS
- 14. NOTICE OF MOTION Next Meeting of Council, August 21, 2017.
- 15. QUESTION PERIOD
- CLOSED SESSION BUSINESS

Resolution No. 2

Moved by: Carma Williams

Seconded by: Jeff Manley

Proceed "In Camera" Session,

That the Council of the Township of North Glengarry proceeds in Camera under Section 239 (2) of the *Ontario Municipal Act* at 4:01 p.m., in order to address,

Review of financial planning of the water and waste water dept. (Ontario Municipal Act Section 239 (3.1) Educational or training sessions – A meeting of a council or local board or of a committee of either of them may be closed to the public if the following conditions are both satisfied;

- 1. The meeting is held for the purpose of educating or training the members.
- 2. At the meeting, no member discusses or otherwise deals with any matter in a way that materially advances the business or decision-making of the council, local board or committee.

Carried

Resolution No. 3

Moved by: Jeff Manley

Seconded by: Carma Williams

That we return to the Special Meeting of Council at 6:13 p.m.

Carried

- 17. CONFIRMING BY-LAW
- 18. ADJOURNMENT

Resolution No. 4

Moved by: Jeff Manley

Seconded by: Carma Williams

There being no further business to discuss, the meeting was adjourned at 6:14 p.m.

Carried

Daniel Gagnon – CAO/Clerk Mayor / Deputy Mayor

DELEGATION

COMMITTEE RECOMMENDATIONS

CAO/CLERK'S

DEPARTMENT

Daniel Gagnon

COMMUNITY SERVICES DEPARTMENT

Anne Leduc

TREASURY DEPARTMENT

Johanna Levac

PLANNING/BUILDING BY-LAW ENFORCEMENT DEPARTMENT

Gerry Murphy

CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

RESOLUTION #		DATE: A	ugust 21, 2017	
MOVED BY:				
SECONDED BY:				
That the Council of the Township o By-law be read a first, second and t				
Carried	Defeated	Deferred		
	MAYO	R / DEPUTY M	AVOD	
	MAIO	K/DEPUTY M	AYUK	
		YEA	NEA	
Deputy Mayor: Jamie MacDonald Councillor: Jacques Massie	1			
Councillor: Brian Caddell				
Councillor: Jeff Manley Councillor: Michel Depratto				
Councillor: Carma Williams				
Mayor: Chris McDonell				
•				

Section <u>9</u> Item <u>a</u>

9(a)

THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY BY-LAW NO. Z-05-2017

BEING A BY-LAW TO AMEND ZONING BY-LAW NO. 39-2000

WHEREAS By-Law No. 39-2000 regulates the use of land and erection of buildings and structures within the Township of North Glengarry, County of SD & G;

AND WHEREAS the Council of the Corporation of the Township of North Glengarry deems it advisable to amend By-Law 39-2000 as hereinafter set forth;

NOW THEREFORE the Council of the Corporation of the Township of North Glengarry enacts as follows:

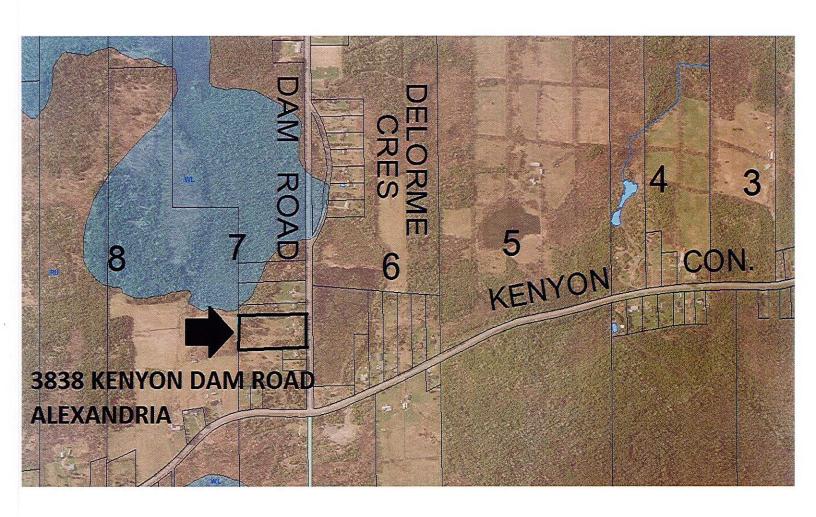
- Not withstanding the provisions of Section 11.2 to the contrary, on the lands described as being Concession 1 Part of Lot 7 RP14R1112 PT; PART 3 (3838 Kenyon Dam Road) Alexandria, Township of North Glengarry zoned Rural Special Exception 11 (RU-11) on Schedule "A" attached hereto, the following provisions shall apply:
- i) RU-11 Special Exception: To permit the use of a restaurant on the property.
- 2. That Schedule "A" of By-Law 39-2000 is hereby amended by changing to RU the zone Symbol of the lands indicated "Zone changed to RU-11" on the Schedule "A" hereto.
- 3. That Schedule "A" attached hereto is hereby made fully part of the By-Law.

This By-Law shall come into effect on the date of passing hereof subject to the provisions of the Planning Act.

READ a first, second, third time and e	nacted in Open Council, this 21 st day of August, 2017.
CAO/Clerk/Deputy Clerk	Mayor/Deputy Mayor
	rue copy of By-Law No. Z-05-2017, duly adopted by the ngarry, on the 21 st day of August, 2017.
Date Certified	Clerk / Deputy Clerk

SCHEDULE "A" TO BY-LAW NUMBER Z-05-2017

Legend Subject Property Zone Change to RU-11



Concession 1 Part of Lot 7 RP14R1112 PT;PART 3 Township of North Glengarry United Counties of Stormont, Dundas & Glengarry

This is Schedule "A" to By-Law Z-05-2017 Passed this 21st day of August, 2017

Mayor/Deputy Mayor	
CAO/Clerk/Deputy Clerk	

CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

RESOLUTION #		DATE: A	ugust 21, 2017
MOVED BY:			
SECONDED BY:			
That the Council of the Township of By-law be read a first, second and the	North Gleng ird time in C	garry approve by-law open Council this 21st	Z-06-2017 and that the day of August, 2017.
Carried	Defeated	Deferred	
	MA	YOR / DEPUTY M.	AYOR
		YEA	NEA
Deputy Mayor: Jamie MacDonald			
Councillor: Jacques Massie Councillor: Brian Caddell			
Councillor: Brian Cadden Councillor: Jeff Manley			
Councillor: Michel Depratto			
Councillor: Carma Williams			
Mayor: Chris McDonell			
Section 9 Item b			



THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY BY-LAW NO. Z-06-2017

BEING A BY-LAW TO AMEND ZONING BY-LAW NO. 39-2000

WHEREAS By-Law No. 39-2000 regulates the use of land and erection of buildings and structures within the Township of North Glengarry, County of SD & G;

AND WHEREAS the Council of the Corporation of the Township of North Glengarry deems it advisable to amend By-Law 39-2000 as hereinafter set forth;

NOW THEREFORE the Council of the Corporation of the Township of North Glengarry enacts as follows:

- Not withstanding the provisions of Section 11.2 to the contrary, on the lands described as being Concession 2 North Part of Lot 9 (21860 McCormick Road) Glen Robertson, Township of North Glengarry zoned General Agricultural Special Exception 154 (AG-154) and General Agricultural Special Exception 155 (AG-155) on Schedule "A" attached hereto, the following provisions shall apply:
- i) AG-154 Special Exception: No residential development shall be permitted on the severed portion.
- ii) AG-155 Special Exception: No agricultural uses shall be permitted on the retained portion.
- 2. That Schedule "B" of By-Law 39-2000 is hereby amended by changing to AG the zone Symbol of the lands indicated "Zone changed to AG-154 and AG-155" on the Schedule "A" hereto.
- 3. That Schedule "A" attached hereto is hereby made fully part of the By-Law.

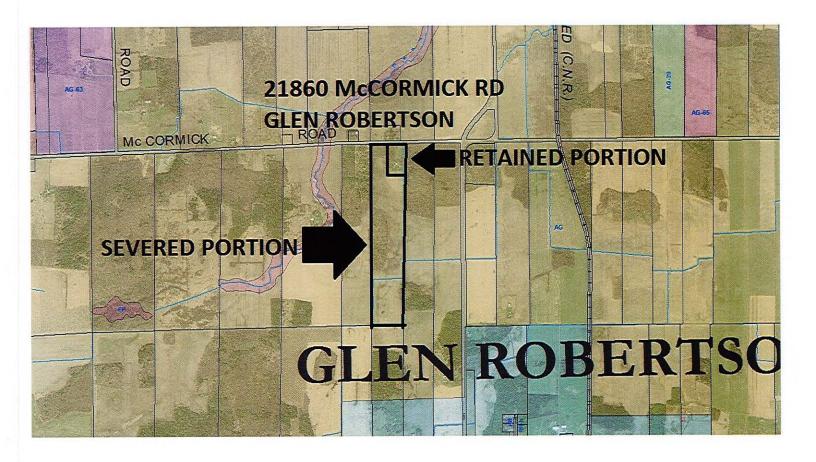
This By-Law shall come into effect on the date of passing hereof subject to the provisions of the Planning Act.

CAO/Clerk/Deputy Clerk	Mayor/Deputy Mayor
	true copy of By-Law No. Z-06-2017, duly adopted by the ngarry, on the 21 st day of August, 2017.
Date Certified	Clerk / Deputy Clerk

READ a first, second, third time and enacted in Open Council, this 21st day of August, 2017.

SCHEDULE "A" TO BY-LAW NUMBER Z-06-2017

Legend Subject Property Zone Change to AG-154 and AG-155



Concession 2 North Part of Lot 9 Township of North Glengarry United Counties of Stormont, Dundas & Glengarry

This is Schedule "A" to By-Law Z-06-2017 Passed this 21st day of August, 2017

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CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

RESOLUTION #		DATE: Aug	rust 21, 2017
MOVED BY:			
SECONDED BY:			
That the Council of the Township of By-law be read a first, second and the			
Carried	Defeated	Deferred	
			
	MAYO	OR / DEPUTY MAY	YOR
		YEA	NEA
Deputy Mayor: Jamie MacDonald Councillor: Jacques Massie			
Councillor: Brian Caddell			
Councillor: Jeff Manley			
Councillor: Michel Depratto			
Councillor: Carma Williams			
Mayor: Chris McDonell			
Section 9 Item c			
Station Zitan C			

9(c)

THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY BY-LAW NO. Z-07-2017

BEING A BY-LAW TO AMEND ZONING BY-LAW NO. 39-2000

WHEREAS By-Law No. 39-2000 regulates the use of land and erection of buildings and structures within the Township of North Glengarry, County of SD & G;

AND WHEREAS the Council of the Corporation of the Township of North Glengarry deems it advisable to amend By-Law 39-2000 as hereinafter set forth;

NOW THEREFORE the Council of the Corporation of the Township of North Glengarry enacts as follows:

- 1. Not withstanding the provisions of Section 11.2 to the contrary, on the lands described as being Plan 32 BLK I Lots 1, 2 Pt; Lot 3 Concession 17 IL Pt Lot 12 (72 Mechanic St. W) Maxville, Township of North Glengarry zoned Village Core Area on Schedule "A" attached hereto, the following provisions shall apply:
- i) Village Core Area: To permit a multi-use building on the property, including residential and commercial uses.
- 2. That Schedule "D" of By-Law 39-2000 is hereby amended by changing to CA the zone Symbol of the lands indicated "Zone changed to CA" on the Schedule "A" hereto.
- 3. That Schedule "A" attached hereto is hereby made fully part of the By-Law.

This By-Law shall come into effect on the date of passing hereof subject to the provisions of the Planning Act.

READ a first, second, third time and enacted in Open Council, this 21 st day of August, 2			
CAO/Clerk/Deputy Clerk	Mayor/Deputy Mayor		
	true copy of By-Law No. Z-07-2017, duly adopted by the ngarry, on the 21 st day of August, 2017.		
Date Certified	Clerk / Deputy Clerk		

SCHEDULE "A" TO BY-LAW NUMBER Z-07-2017

Legend Subject Property Zone Change to CA



Plan 32 BLK I Lots 1, 2 Pt;Lot 3 Concession 17 IL Part Lot 12 Township of North Glengarry United Counties of Stormont, Dundas & Glengarry

This is Schedule "A" to By-Law Z-07-2017 Passed this 21st day of August, 2017

Mayor/Deputy Mayor	
CAO/Clerk/Deputy Clerk	

CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

	DATE: Aug	gust 21, 2017
authorizes the Cimited Partnershi	Clerk and Mayor to ip C/O CP Reit Ont	enter into a site plan ario Properties; and
		nd, third time and
Defeated	Deferred	
MAYO	R / DEPUTY MA	YOR
	YEA	NEA
	authorizes the Cimited Partnershiand that by-law y of August, 201 Defeated ———	authorizes the Clerk and Mayor to imited Partnership C/O CP Reit Ont and that by-law be read a first, second of August, 2017. Defeated Deferred MAYOR / DEPUTY MAYOR / DEP

 $Section \ \underline{9} \ Item \underline{d}$

9 (d)

THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

BY-LAW NO. 36-2017

BEING a by-law to authorize the execution of a Site Plan Control Agreement with Choice Properties Limited Partnership C/O CP Reit Ontario Properties.

WHEREAS the Council of the Corporation of the Township of North Glengarry is desirous of entering into a Site Plan Control Agreement with Choice Properties Limited Partnership C/O CP Reit Ontario Properties.

AND WHEREAS Section 41 of the Planning Act, R.S.O. 1990 c.P.13, as amended, enables the Municipality to establish a Site Plan Control Area;

NOW THEREFORE the Council of the Corporation of the Township of North Glengarry hereby enacts the following as a by-law:

1. The Mayor and CAO/Clerk are hereby authorized to execute, under the Corporation Seal, a Site Plan Agreement with Choice Properties Limited Partnership C/O CP Reit Ontario Properties., owner of the lands described as Lochiel Concession 1Part Lots 37 and 38; Reference Plan 14R1382 Parts 2 and 3; Reference Plan 14R2334 Part 1 Reference Plan 14R3167; Pt Parts 1 and 4 Reference Plan 14R4011; Parts 1 and 2. Town of Alexandria, now in the Township of North Glengarry, County of Glengarry hereto attached (Schedule "A") and forming part of this by-law.

READ a first, second, third time and enacted in Open Council, this 21st day of August, 2017.

CAO / Clerk / Deputy Clerk

Mayor / Deputy Mayor

I hereby certify this to be a true copy of By-law No. 36-2017, and that such by-law is in full force and effect.

Date Certified

CAO / Clerk / Deputy Clerk

THE CORPORATION OF THE TOWNSHIP OF NORTH GLENGARRY

SCHEDULE "A" TO

BY-LAW # 36-2017

SITE PLAN CONTROL AGREEMENT THIS AGREEMENT, made in triplicate,

this 21st day of August, 2017. BETWEEN: The Corporation of the Township of North

Glengarry (hereinafter called the "Township")

OF THE FIRST PART

AND: Choice Properties Limited Partnership C/O CP Reit Ontario Properties

(hereinafter called the "Owner")

OF THE SECOND PART

WHERE AS the Corporation of the Township of North Glengarry Official Plan enacted site plan control policies pursuant to Section 41 of the Planning Act, R.S.O. 1990, c.

AND WHEREAS the Owner owns the lands described as part of lot 37 & 38, concession 1(Former Township of Lochiel) municipally known as 420 Main St. South now in the Township of North Glengarry, County of Glengarry.

AND WHEREAS the Owner has applied to the Township for approval of the Site Plans as received by the Planning Committee pursuant to the Site Plan Control Policy and the said Committee has approved the said Plans subject to the Owner entering into a Site Plan Control Agreement;

NOW THEREFORE IN CONSIDERATION OF THE MUTUAL COVENANTS CONTAINED HEREIN, THE PARTIES COVENANT AND AGREE AS FOLLOWS:

Conditions for Site Plan Control Agreement

- 1. This Agreement shall apply to the owner's land which is described above and in Schedule "A" and to the development and redevelopment of the said lands.
- 2. The owner covenants and agrees that no development or redevelopment will proceed on the said lands except in accordance with the Plans approved by the Township pursuant to Section 41 of the Planning Act R.S.O. 1990, c.P.B, and more particularly identified in Schedules "A" to "D" inclusive attached hereto.
- 3. The owner further agrees that the proposed buildings, structures and other works shown on the Plans which is identified as Schedules "A" to "D" inclusive shall be completed in conformity with the said Plans and shall do all acts to provide for the maintenance and use of the requirements set out in the said Agreement.
- 4. The owner further covenants and agrees, in addition to Conditions 2 and 3 or any other Sections of the Agreement and at its own costs:
 - (a) To complete the installation of all services, works and facilities as shown on Schedule "A" to "D" inclusive within the specified time.
 - (b) To provide and maintain at all time such parking and loading facilities convenient to users and ensuring orderly and safe vehicular and pedestrian movements as shown on Schedule "A" and further agrees that the said areas shall be surfaced with asphalt.
 - (c) To provide and construct all drainage to the satisfaction of the Township as shown on Schedules "C" and "D".
 - (d) To construct an entrance (s) in the location as shown on Schedule "A" and to the satisfaction and according to the specifications of the Township.
 - (e) To provide such walls, fences, hedges, trees and/or shrubs and to landscape the said lands as shown on Schedule "A" and further agrees to maintain same to the satisfaction of the Township.
 - (f) To provide a garbage storage area and to screen same accordingly should it be determined it is required by the Township.
 - (g) To provide adequate on site lighting for the safety of vehicular and pedestrian traffic without interfering with the enjoyment of adjacent properties or the traffic on the adjacent roads as shown on Schedule "A".
 - (h) The owner understands and agrees that all entrance improvements on the Township right-of-way may be carried out by an approved contractor provided

the owner obtains prior written approval from the Township. All improvements to the entrance must conform to current Township standards and specifications. All works on the right-of-way must be inspected and certified by the owner's engineer.

- (i) The owner understands and agrees that:
 - (i) All required work on private property in respect to sanitary and storm sewers and municipal water supply must be carried out in accordance with Township specifications at the expense of the owner.
 - (ii) Prior to the work commencing, arrangements for the necessary servicing permits and approvals must be made with the Township's Public Works Department.
 - (iii) The owner must advise the Township's Public Works Department prior to the issuance of any building permit, whether it intends to hire a registered professional engineer to design, inspect and certify the sewer and water installations for this development or the Township will be required to inspect and test the services, at the owner's cost. Municipal water will not be turned on until such time that the installations are approved by the Township through one of the above alternatives.
- (j) The owner further understands and agrees that all sewer and water materials installed on private and right-of-way properties must be specified and in compliance with current Township standards.
- 5. The owner covenants and agrees that all conditions as set out in Section 2, 3 and 4 and as shown on Schedules "A" to "D" inclusive, shall be completed within two years of the issuance of any building permit.
- 6. The owner further covenants and agrees that prior to receiving a building permit, they will deposit with the Township's Treasury Department an Irrevocable Letter of Credit from a Chartered Bank with drawing rights for not less than one (I) year from date of issue and in the amount of not less than fifty (50%) percent of the "Total X" of Schedule "D" attached, renewable on a annual basis if the subdivision has not obtained final acceptance this being the total of the Consultant's approved estimate of quantities and prices, by item, for the construction of all underground facilities plus the estimated cost of site inspection associated with these works and the project administration by the Consultant, which approved estimate shall be dated not more than three (3) months prior to the date of the Letter of Credit, plus the Township Administration Fee of two

(2%) percent of the total estimated cost of constructing the facilities, <u>plus</u>. the underground installation costs of utility companies.

7. From time to time during the construction of underground facilities, the Consultant shall prepare a Progress Certificate indicating the total amount of work completed as of the date of the Progress Certificate by the Engineer, the Township Treasurer may reduce the balance of the Letter of Credit by the "Total Balance Due" (this being the difference between the "Total Work Performed to Date" and the "Total Paid to Date") less ten (10% percent of the "Total Work Performed to Date". At no time will the Letter of Credit be reduced to below the value of the "Total Y" of Schedule "D".

Upon satisfactory completion of the works and the issuing of the letter of preliminary acceptance of the facilities, the holdback will be reduced to five (5%) percent plus the value of uncompleted works (if any). The five (5%) percent holdback will be released upon expiry of the Guaranteed Maintenance Period.

- 8. All entrances, exits and fire routes within the lands shall, at all times, be kept clean and clear of snow or debris to the satisfaction of the Township, failing which the Township shall have the right to enter upon the said lands, undertake the clearing and removal of snow or debris on all entrances, exits and Fire Routes and recover from the owner all costs, through the deposited by the owner with the Township (prior to project completion) or by action or in like manner as municipal taxes (post project completion) as provided as taxes that are overdue and payable.
- 9. The owner will indemnify the Township and each of its officers, servants, and agents from all loss, damage, damages, costs, expenses, claims, demands, actions, suits or other proceedings of every nature and kind arising from or in consequence of the execution, non-execution or imperfect execution of any of the work herein before mentioned or of the supply or non-supply of material therefore, whether such loss, damage, damages, costs, expenses, claims, demands, actions, suits or other proceedings arise by reason of negligence or without negligence on the part of the owner or its contractors, officers, servants or agents, or whether such loss, damage, damages, costs, expenses, claims, demands, actions, suits or other proceedings are occasioned to or made or brought against the Owner or its contractors, officers, servants, or agents or the Township, its officers, servants, or agents.
- 10. The owner agrees to consent to the registration of this Agreement against the said lands by way of "Notice of Agreement" and understands that the said Agreement shall remain on title in perpetuity.
- 11. The owner understands and agrees that he shall be responsible for all fees incurred in the registration of this Agreement against the title to the said property,

and for all registration fees incurred in the registration of any subsequent amendment or deletion of the Agreement from title and for any approvals or consents required to register the Agreement.

- 12. The owner shall arrange for and shall be responsible for all fees incurred in the registration of postponements of all debentures, charges, mortgages, or other similar documents registered prior to the registration of this Agreement.
- 13. The owner understands and agrees that any modifications to the site, additional structures, building additions and/or new buildings on the said lands shall require an amendment to this Agreement, if deemed by the Township to be of a magnitude to warrant such an amendment.

THIS AGREEMENT shall be binding upon the patties hereto and their respective successors and assigns.

IN WITNESS WHEREOF the patties hereto have hereunto placed their respective hands and seals to these presents.

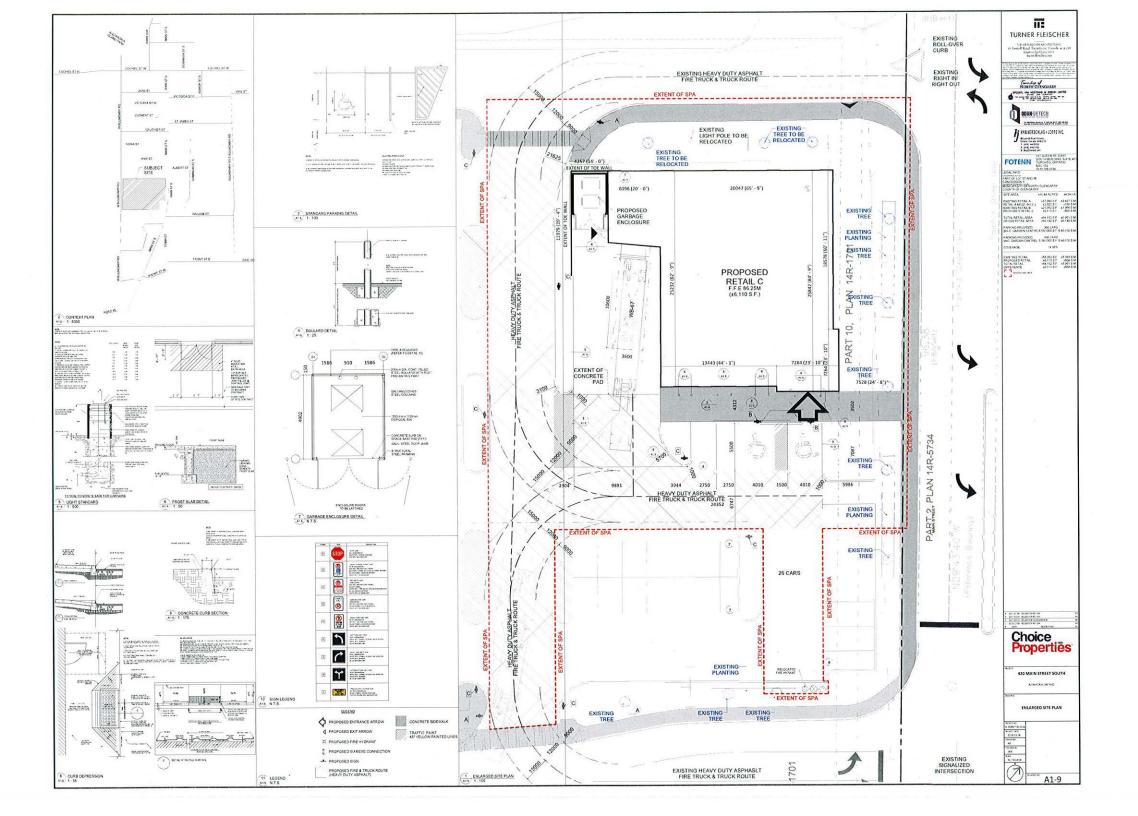
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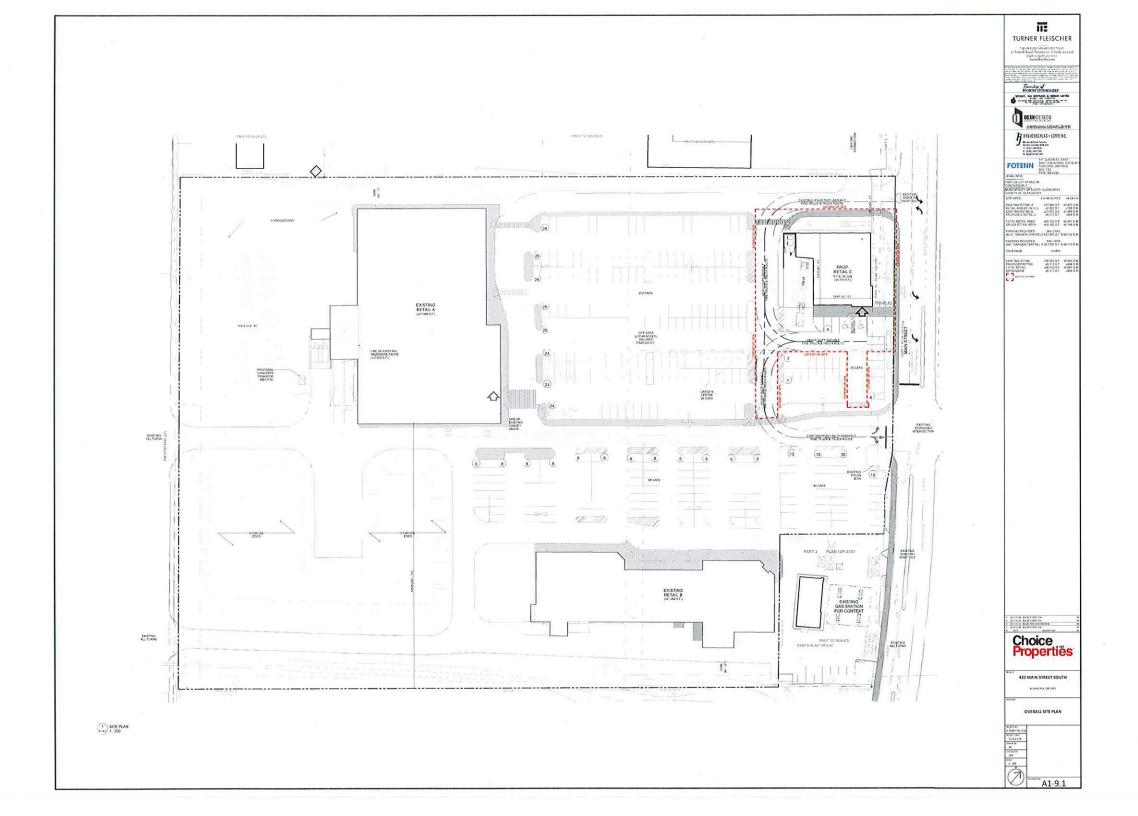
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NOTES AND DETAILS

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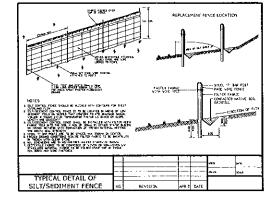
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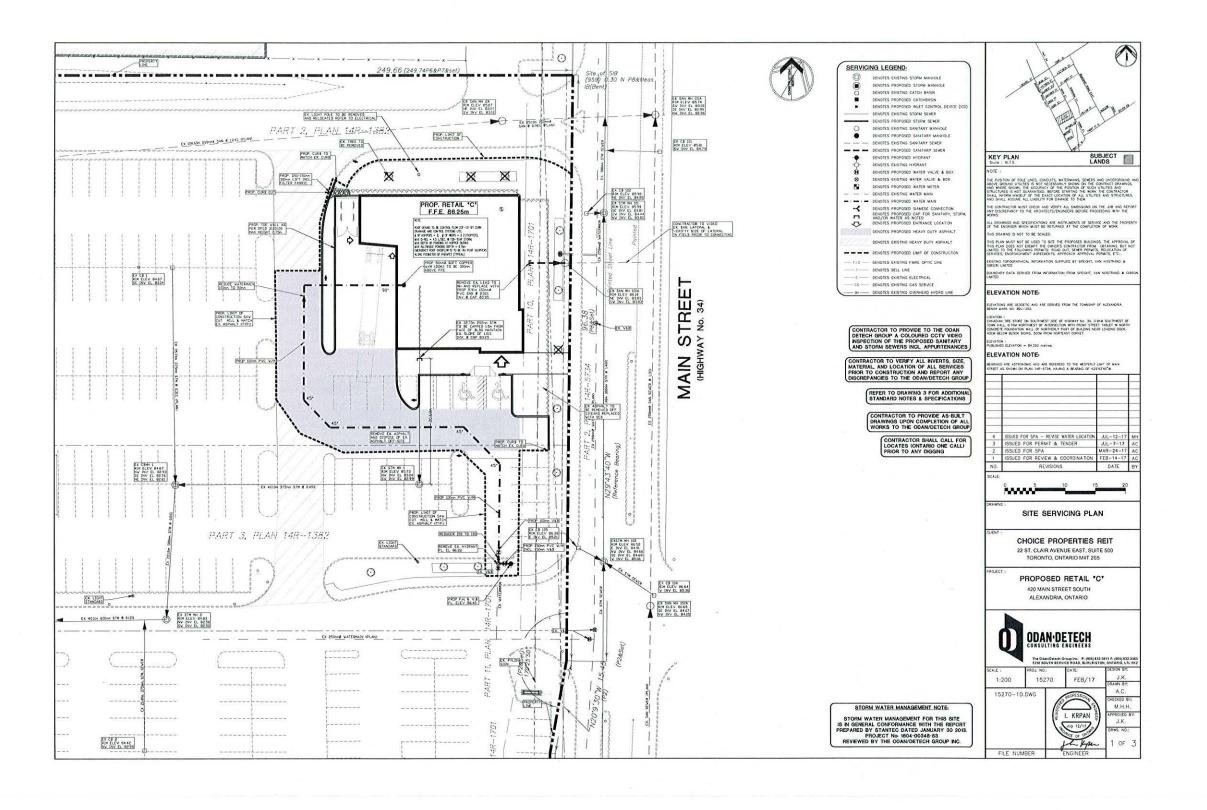
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NOTES AND DETAILS

CHOICE PROPERTIES REIT 22 ST. CLAIR AVENUE EAST, SUITE 500 TORONTO, ONTARIO M4T 255

REPLACEMENT FENCE LOCATION

PROPOSED RETAIL "C"

420 MAIN STREET SOUTH ALEXANDRIA, ONTARIO



FILE NUMBER

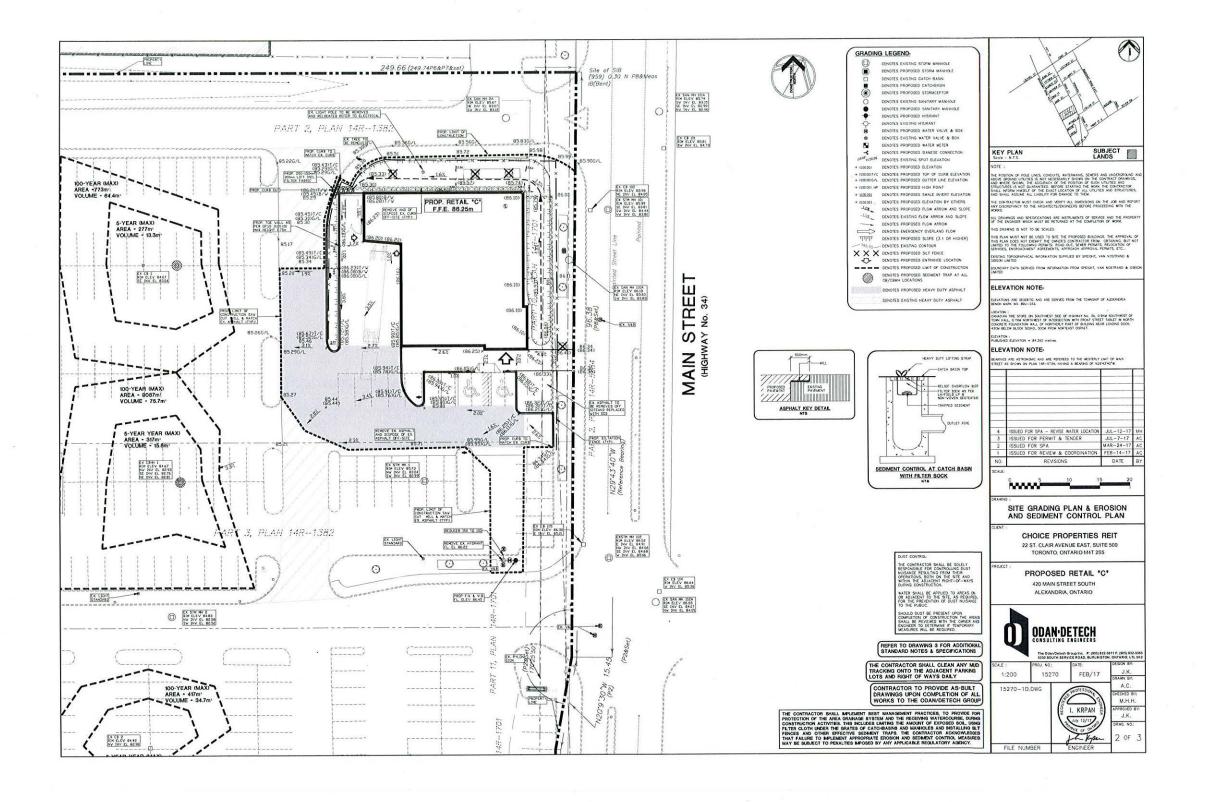
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ELEVATION NOTE

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-,	ISSUED FOR REVIEW & COORDINATION	FEB 1417	A
NQ.	REVISIONS	DATE	В

NOTES AND DETAILS

CHOICE PROPERTIES REIT 22 ST. CLAIR AVENUE EAST. SUITE 500 TORONTO, ONTARIO M4T 2S5

REPLACEMENT FENCE LOCATION

PROPOSED RETAIL 'C'

420 MAIN STREET SOUTH ALEXANDRIA, ONTARIO



The Oden Darsch Group Inc. #. (905) 612-1811 #: (905) 637-935 5230 SOUTH SERVICE ROAD, BURLINGTON, CHTARIO, L7L SA AS NOTED 15270 FEB/17 A.C. 15270-30.DWG HEC-ED B м.н.н. FPROMEO B I. KRPAN J.K. DS NS. NO 3 OF 3 FILE NUMBER

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SCHEDULE "D"

SECURITIES/COST ESTIMATES

FEE BREAKDOWN RE: SITE PLAN CONTROL AGREEMENT

Site Plan Fee = \$2,000.00

2% Administration Fee (\$1,275,560.00 x 2%=\$25,511.20)

Total Cost of Fees = \$2,000.00 + \$25,511.20 \$27,511.20

Additional Information Required Letter of Credit - \$102,780.00



The Odan/Detech Group Inc.
P: (905) 632-3811
F: (905) 632-3363
5230, SOUTH SERVICE ROAD, UNIT 107
BURLINGTON, ONTARIO, L7L 5K2
www.odandetech.com

SUMMARY COST ESTIMATE - SET A -

PROJECT: Proposed Retail "B"

420 Main Street South Alexandria, Ontario CLIENT:

Choice Properties REIT

DATE:

February 23, 2017

PROJECT No.: 15270 DRAWING REF.: SET A

\$ 5,000.00 \$ 5,000.00 \$ 10,000.00 \$ 10,000.00	1.1	Mobilization; i.e. Layout, Site office, etc.	1	LS	\$	10,000.00	\$	10,000.00
\$ 10,000.00 \$ 10,000.00 \$ 10,000.00 \$ 10,000.00	1.2	Silt Fence	120	m	\$	20.00	\$	2,400.00
\$ 10,000.00 \$ 10,000.00	1.3	Construction Maintenance; i.e. dust control, traffic control, sediment controls, etc.	1	LS	\$	5,000.00	\$	5,000.00
	1.4	Site Preparation; cleaning of debris, topsoil & sod removal etc.	1	LS	\$	10,000.00	\$	10,000.00
\$ 30,000.00 \$ 30,000.00	1.5	Remove Existing Asphalt & Curb	1	LS	\$	10,000.00	\$	10,000.00
	1.6	Rough Grading for Building Pad & Site; Import Granular "B": Export Excess Material	1	LS	\$	30,000.00	\$	30,000.00
SUBTOTAL \$ 67,400.00				'	S	UBTOTAL	\$	67,400.00
		<u> </u>	1		\$	30,000.00	\$	
	CALIFORNIA STATE	2.0 SANITARY SEWERS			T 6	050.00	•	0.000.00
	2.1	150mm PVC Sanitary Sewer	8	m	-	AUDITURA SANTA		
\$ 250.00 \$ 2,000.00	2.2	Rebench Existing Sanitary Manhole	11	LS	\$		7	
\$ 2,500.00 \$ 2,500.00	2.2	Flush & Video Existing Sanitary Sewer	1	LS	\$	2,000.00	\$	2,000.00
\$ 2,500.00 \$ 2,500.00	2.3							

	100mm dia. PVC Watermain ;					
3.1	Including Asphalt Restoration, Tees, Bends and Reducers.	65	m	\$	225.00	\$ 14,625.0
3.2	50mm dia. Water Service	5	m	\$	200.00	\$ 1,000.0
3.3	100mm dia. Valve	1	ea.	\$	2,000.00	\$ 2,000.0
3.4	Decommission Ex. Water in ROW incl. Restoration	2	ea.	\$	5,000.00	\$ 10,000.0
3.5	Connection to Existing Watermain incl. Hydrant Relocation & Lead	1	LS	\$	7,500.00	\$ 7,500.0
3.6	Pressure Test, Swabbing & Chlorination	1	LS	\$	2,000.00	\$ 2,000.0
				S	UBTOTAL	\$ 37,125.0

					SUBTOTAL	\$ 60,275.00
4.5	Fine Grading of Boulevards (Import and Place Topsoil)	1	LS	\$	5,000.00	\$ 5,000.0
4.4	Heavy Duty Asphalt, New Asphalt, pad with Gran. A	590	m ²	\$	45.00	\$ 26,550.0
4.3	Light Duty Asphalt, New Asphalt pad with Gran. A	260	m ²	\$	35.00	\$ 9,100.0
4.2	Concrete Islands, Pads and Sidewalks	125	m²	\$	100.00	\$ 12,500.0
4.1	Concrete Barrier Curb	95	m	\$	75.00	\$ 7,125.0

TOTAL	\$ 171,300.00
20% CONTINGENCY	\$ 34,260.00
TOTAL ESTIMATED COST	\$ 205,560.00

NOTE:

Estimate does not include on site electrical work, illumination and landscaping Estimate does not for containination or poor soil conditions Estimate does not include consultant or construction fees and permits Estimate does not include HST

FIRE DEPARTMENT

Patrick Gauthier

PUBLIC WORKS DEPARTMENT

Ryan Morton

CORRESPONDENCE

/2(a)

Public Works Advisory Committee Meeting

Monday June 19, 2017 at 2:30 p.m.

Gary Shepherd Hall

102 Derby Street West, Alexandria, Ontario, K0C 1A0

1. The Public Works Advisory Committee Meeting of June 19, 2017 held at the Gary Shepherd Hall, was brought to order at 2:30 p.m.

Present: Chair: Brian Caddell

Mayor: Chris McDonell

Deputy Mayor: Jamie MacDonald

Councillor: Carma Williams Councillor: Jeff Manley Councillor: Michel Depratto

Member at Large: Kevin Van den Oetelaar

C.A.O.: Daniel Gagnon

Public Works Director: Ryan Morton Director of Transportation: Roch Lajoie RARE General Manager: Linda Andrushkoff Acting Utility Manager: Angela Cullen Recording Secretary: Micheline Larocque

Absent: Councillor: Jacques Massie

Member at Large: Ron Aubin

Environmental Manager: Dean McDonald

2. Accept Agenda – (Additions/Deletion)

Additions:

Moved by: Chris McDonell

Seconded by: Carma Williams

Moved to accept the agenda.

Carried

- 3. Declaration Conflict of Interest
- 4. Adoption of Previous Minutes

Resolution No. 2017-20

Moved by: Chris McDonell

Seconded by: Carma Williams

Carried

- 5. Agenda Items
 - a. Water Works Activity Update

Resolution No. 2017-21

Moved by: Jeff Manley

Seconded by: Jamie MacDonald

The Public Works committee of the Township of North Glengarry hereby receives the Water Works Activity Update presented by Angela Cullen.

Carried

b. Roads Department Activity Update - Roch Lajoie

Resolution No. 2017-21

Moved by: Jeff Manley

Seconded by: Jamie MacDonald

The Public Works committee of the Township of North Glengarry hereby receives the Road Department Activity Update presented by Roch Lajoie.

Carried

c. RARE Financial - Linda Andrushkoff

Resolution No. 2017-21

Moved by: Jeff Manley

Seconded by: Jamie MacDonald

The Public Works committee of the Township of North Glengarry hereby receives the RARE Financial Report presented by Linda Andrushkoff.

Carried

d. RARE Plant Capital Update

Resolution No. 2017-21

Moved by: Jeff Manley

Seconded by: Jamie MacDonald

The Public Works committee of the Township of North Glengarry hereby receives the RARE Plant Capital update presented by Linda Andrushkoff.

Carried

e. Leaf and Yard Waste May 17 - Summary

Moved by:

Seconded by:

The Public Works committee of the Township of North Glengarry hereby receives the Summary of the Leaf and Yard Waste of 2017 presented by Linda Andrushkoff.

10.	Next Meeting:	
	The next meeting July 17, 2017	
		Carried
13.	Adjournment	
	Resolution No. 2017-22	
	Moved by: Jamie MacDonald	Seconded by: Michel Depratto
	Moved to adjourn the meeting at 3:04 p.m.	
		Carried
Mic	heline Larocque – Recording Secretary	Chair – Brian Caddell

NEW BUSINESS

NOTICE OF MOTION

QUESTION PERIOD

CLOSED SESSION

BUSINESS

RESOLUTION #		DATE: August 21, 2017				
MOVED BY:						
SECONDED BY:						
Proceed "In Camera" Session,						
That the Council of the Township of of the <i>Ontario Municipal Act</i> at			ra under Section 239 (2)			
Taxation Discrepancies Correction client privilege, including communic closed session under sections 239 (2)	cations necessary for the	hat purpose the				
Glengarry Sports Palace Dispute I subject to solicitor-client privilege, is may be discussed in closed session up	ncluding communicati	ons necessary	for that purpose they			
And adopt the minutes of the Municiand August 15, 2017.	ipal Council "In Came	era" session me	eeting of August 8, 2017			
Carried	Defeated	Deferred				
						
	MAYOR / D	EPUTY MAY	/OP			
	WILL OR / D					
D (M		YEA	NEA			
Deputy Mayor: Jamie MacDonald Councillor: Jacques Massie						
Councillor: Brian Caddell						
Councillor: Jeff Manley						
Councillor: Michel Depratto Councillor: Carma Williams						
Mayor: Chris McDonell						
Section 16 Item a						
Section 16 Item <u>a</u>						

RESOLUTION #		DATE:	August 21, 2017
MOVED BY:			
SECONDED BY:			
Adopt Minutes of "In Camera" Sessi	ion		
That the minutes of the Municipal C August 15, 2017 be adopted as printe		ra" session meet	ing August 8, 2017 and
Carried	Defeated	Deferred 	l
	MAYO	R / DEPUTY M	IAYOR
		YEA	NEA
Deputy Mayor: Jamie MacDonald Councillor: Jacques Massie Councillor: Brian Caddell Councillor: Jeff Manley Councillor: Michel Depratto			
Councillor: Carma Williams Mayor: Chris McDonell			

Section 16 Item <u>b</u>

RESOLUTION #		DATE:	August 21, 2017
MOVED BY:			
SECONDED BY:			
That we return to the Regular	r Meeting of Council at	-	
Carried	Defeated	Deferre	d
<u></u>		· · · · · · · · · · · · · · · · · · ·	
	MAYO	R / DEPUTY N	MAYOR
		YEA	NEA
Deputy Mayor: Jamie Mac			
Councillor: Jacques Massie	;		
Councillor: Brian Caddell			
Councillor: Jeff Manley			
Councillor: Michel Depratto Councillor: Carma William			
Mayor: Chris McDonell	13		
mayor. Cinis mobolicii			

Section 16 Item c

CONFIRMING BY-LAW

DATE: August 21, 2017

MOVED BY:				
SECONDED BY:				
That the Council of the Township or	f North Glengarry	receive By-law	37-2017; and	
That Council adopt by-law 37-2017 with by Resolution and that By-law Open Council this 21st day of Augus	37-2017 be read a	adopt, confirm a first, second, th	and ratify matters ird time and enac	dealt ted in
Carried	Defeated	Deferred		
	MAYOI	R / DEPUTY M	AYOR	
		YEA	NEA	
Deputy Mayor: Jamie MacDonald Councillor: Jacques Massie	l			
Councillor: Jacques Massie Councillor: Brian Caddell				
Councillor: Jeff Manley				
Councillor: Michel Depratto				
Councillor: Carma Williams				
Mayor: Chris McDonell				
Section 17 Item a				

RESOLUTION # ____

BY-LAW 37-2017 FOR THE YEAR 2017

BEING A BY-LAW TO ADOPT, CONFIRM AND RATIFY MATTERS DEALT WITH BY RESOLUTION.

WHEREAS s. 5(3) of the *Municipal Act, 2001*, provides that the powers of municipal corporation are to be exercised by its Council by by-law; and

WHEREAS it is deemed expedient that the proceedings, decisions and votes of the Council of the Corporation of the Township of North Glengarry at this meeting be confirmed and adopted by bylaw;

THEREFORE the Council of the Corporation of the Township of North Glengarry enacts as follows:

- 1. **THAT** the action of the Council at its regular meeting of August 21, 2017 in respect to each motion passed and taken by the Council at its meetings, is hereby adopted, ratified and confirmed, as if each resolution or other action was adopted, ratified and confirmed by its separate by-law; and;
- 2. THAT the Mayor and the proper officers of the Township of North Glengarry are hereby authorized and directed to do all things necessary to give effect to the said action, or to obtain approvals where required, and except where otherwise provided, The Mayor and the Clerk are hereby directed to execute all documents necessary in that behalf and to affix the corporate seal of the Township to all such documents.
- 3. **THAT** if due to the inclusion of a particular resolution or resolutions this By-law would be deemed invalid by a court of competent jurisdiction then Section 1 to this By-law shall be deemed to apply to all motions passed except those that would make this By-law invalid.
- 4. **THAT** where a "Confirming By-law" conflicts with other by-laws the other by-laws shall take precedence. Where a "Confirming By-Law" conflicts with another "Confirming By-law" the most recent by-law shall take precedence.

READ a first, second and third time, passed, signed and sealed in Open Council this 21st day of August, 2017.

Daniel Gagnon - CAO/Clerk	Mayor / Deputy Mayor
I, hereby certify that the forgoing is a true Council of the Township of North Glenge	e copy of By-Law No. 37-2017, duly adopted by the arry on the 21 st day of August, 2017.

ADJOURN

RESOLUTION #		DATE: August 21, 2017		
MOVED BY:				
SECONDED BY:	_			
There being no further business to discuss, the meeting was adjourned at				
Carried	Defeated	Deferred		
	MAYOR / DEPUTY MAYOR			
		YEA	NEA	
Deputy Mayor: Jamie MacDonald				
Councillor: Jacques Massie Councillor: Brian Caddell				
Councillor: Jeff Manley				
Councillor: Michel Depratto				
Councillor: Carma Williams				
Mayor: Chris McDonell				
Section <u>18</u>				